

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

NOTICE OF INTENT TO ADOPT
MITIGATED NEGATIVE DECLARATION

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Lacasia-Barrios Residence, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN2021-00478

OWNER/ APPLICANT: Elizabeth Lacasia

**POSTING
ONLY**

APR 24 2023

ASSESSOR'S PARCEL NO.: 047-105-020

LOCATION: Vacant parcel located on San Carlos Avenue, in unincorporated El Granada area of San Mateo County.

PROJECT DESCRIPTION

The project requires a Design Review Permit (DRP), Coastal Development Permit (CDP), and Variance for the construction of a new 3-story, 1,820 sq. ft. residence with a 381 sq. ft. attached garage and a 795 sq. ft. accessory dwelling unit (ADU) on a 7,070 sq. ft. legal parcel (Certificate of Compliance (Type B) was recorded on November 10, 2021). The project site is accessed from San Carlos Avenue, a public roadway which is improved at the project location. The project involves no tree removal and only minor grading. The subject property is located within a portion of the Montecito Riparian Corridor. Areas of the Montecito Riparian Corridor may contain areas of wetland. In addition to the 30-foot riparian setback, the County has implemented a 100-foot wetland setback for the potential wetland. The project also involves a Variance for the reduction in the wetland setback requirement and front setback requirement to allow for the proposed residence. The applicant proposes a 30 feet wetland setback and a 13 feet front setback, where 20 feet is required by the zoning district. The project is appealable to the California Coastal Commission.

FINDINGS AND BASIS FOR A MITIGATED NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.

5. In addition, the project will not:
 - a. Create impacts which have the potential to degrade the quality of the environment.
 - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
 - c. Create impacts for a project which are individually limited, but cumulatively considerable.
 - d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is less than significant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- i. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously).

Mitigation Measure 2: The applicant shall implement the following mitigation measures to avoid direct impacts to California Red-legged Frog (CRLF), San Francisco dusky-footed woodrat

(SFDFW), and San Francisco Garter Snake (SFGS) if present during the course of activities on the site:

- a. Pre-construction surveys for SFDFW houses shall be performed no less than 30 days prior to construction (including ground disturbance work and/or demolition of existing structures). If stick houses are found and avoidance is not feasible, the houses shall be dismantled by hand under the supervision of a biologist. If young are encountered during the dismantling process, the material shall be placed back on the house and a buffer of 25 to 50 feet shall be established by the biologist for a minimum of three weeks to allow young time to mature and leave the nest. Nest material shall be moved to a suitable adjacent area for reuse. Pre-construction surveys shall be provided to the Project Planner for review and approval, prior to start of any work at the Project Site.
- b. A pre-construction survey for CRLF and SFGS shall be performed within 48 hours of ground disturbing activities. Non-listed species if found, may be relocated to suitable habitat outside the Project Site. If CRLF and/or SFGS is found, work should be halted, and the USFWS will be contacted. If possible, CRLF and SFGS should be allowed to leave the area on its own. If the animal does not leave on its own, all work shall remain halted until the USFWS provide authorization for work to resume. Pre-construction surveys shall be provided to the Project Planner for review and approval, prior to start of any work at the Project Site.
- c. A biological monitor shall be present during initial vegetation removal and ground disturbing activities to ensure no CRLF and SFGS are present.
- d. No ground-disturbing work (including demolition or vegetation removal) shall be performed during or within 48 hours of any rain event (greater than 0.5 inches) between November 1 and April 31 when CRLF are most likely to disperse into upland habitats. Furthermore, no work shall occur within 30 minutes of sunrise or sunset during this period.
- f. Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic monofilament netting (erosion control matting), rolled erosion control products, or similar material shall not be used. Acceptable substitutes include coconut coir matting or tackifier hydroseeding compounds. Compliance shall be demonstrated in an erosion and sediment control plan provided with the building permit application.
- g. An environmental training shall be provided to all workers prior to the start of any activities regarding any sensitive biological resources. The training shall include steps to identify and respond to a sighting, the laws and regulations protecting those resources, and consequences of non-compliance. Date and time of each training shall be reported to the County within one week of completion.

Mitigation Measure 3: Although no archaeological resources were found on the Project Area, it is possible that subsurface deposits may yet exist or that evidence of such resources has been obscured by more recent natural or cultural factors such as downslope aggradation and alluviation and the presence of non-native trees and vegetation. Archaeological and historical resources and human remains are protected from unauthorized disturbance by State law, and supervisory and construction personnel therefore must notify the County and proper authorities if any possible archaeological or historic resources or human remains are encountered during construction activities and halt construction to allow qualified Archaeologists to identify, record, and evaluate such resources and recommend an appropriate course of action.

Mitigation Measure 4: In the event that cultural, paleontological, or archeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archeologist and any recording, protecting, or curating shall be borne solely by the project sponsor. The archeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 5: The applicants and contractors shall be prepared to carry out the requirements of California State law with regard to the discovery of human remains, whether historic or prehistoric, during grading and construction. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

Mitigation Measure 6: Prior to the issuance of the building permit for the residence, the applicant shall revise the Erosion Control Plan to include the driveway area and proposed measures and additional measures as follows, subject to the review and approval of the Community Development Director:

- a. Protect Surface Water Locations: The Montecito Riparian Corridor is location within close proximity of proposed disturbed areas on the subject property. Please provide primary control measures (e.g., 2 rows of staked fiber rolls) along the edge of the riparian corridor.
- b. Show location of utility trenches, indicate utility types, and identify timing of installation.
- c. Construction Access Routes: Over access points at the end of the paved portion of San Carlos Avenue, construct a stabilized designated entrance(s), using 3" - 4" fractured aggregate over geotextile fabric.

Mitigation Measure 7: The applicant shall adhere to the San Mateo County-wide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:

- a. Delineation with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earth moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30. Stabilization shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as re-vegetating disturbed areas with plants propagated from seed collected in the immediate area.

- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving site shall be clear and running slowly at all times.

Mitigation Measure 8: Once approved, erosion and sediment control measures of the revised Erosion Control Plan shall be installed prior to beginning any site work and maintained throughout the term of grading and construction, until all disturbed areas are stabilized. Failure to install or maintain these measures will result in stoppage of construction until corrections have been made and fees paid for staff enforcement time. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Building Inspection Section.

Mitigation Measure 9: At the time of building permit application, the applicant shall demonstrate compliance with the following measures as indicated on the applicant-completed Development Checklist (Attachment H) or equivalent measures, to the extent feasible. Such measures shall be shown on building plans.

- a. BAAQMD BMP: Comply with the Green Building Ordinance and achieve CALGreen Tier 1 energy efficiency standards;
- b. BAAQMD BMP: Install a solar photovoltaic system;
- c. BAAQMD BMP: Incorporate a minimum of 15% recycled materials into construction.

RESPONSIBLE AGENCY CONSULTATION

None.

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: April 24, 2023 to May 15, 2023

All comments regarding the correctness, completeness, or adequacy of this Mitigated Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than 5:00 p.m., May 15, 2023.

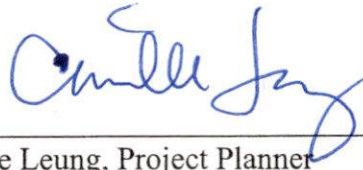
CONTACT PERSONS

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Telephone 650/363-1826



Camille Leung, Project Planner

County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**
(To Be Completed by Planning Department)

1. **Project Title:** Lacasia-Barrios Residence
2. **County File Number:** PLN2021-00478
3. **Lead Agency Name and Address:** County of San Mateo, Planning and Building Department, 455 County Center, Second Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Glen Jia, Project Planner, 628/363-1803, bjia@smcgov.org (email is preferred method of communication)
5. **Project Location:** Vacant parcel located on San Carlos Avenue, in unincorporated El Granada area of San Mateo County. The project site can be accessed from San Carlos Avenue, which is a public roadway.
6. **Assessor's Parcel Number and Size of Parcel:** APN 047-105-020; 7,070 sq. ft.
7. **Project Sponsor's Name and Address:** Elizabeth Lacasia, 4 El Sereno Drive, San Carlos, CA 94070
8. **Owner:** Elizabeth Lacasia, 4 El Sereno Drive, San Carlos, CA 94070
9. **General Plan Designation:** Medium Density Residential; Urban
10. **Zoning:** One-Family Residential/Combining District (Minimum Lot Size 5,000 sq. ft.)/Design Review/Coastal Development District (R-1/S-17/DR/CD)
11. **Description of the Project:** The project requires a Design Review Permit (DRP), Coastal Development Permit (CDP), and Variance for the construction of a new 3-story, 1,820 sq. ft. residence with a 381 sq. ft. attached garage and a 795 sq. ft. accessory dwelling unit (ADU) on a 7,070 sq. ft. legal parcel (Certificate of Compliance (Type B) was recorded on November 10, 2021). The project site is accessed from San Carlos Avenue, a public roadway which is improved at the project location. The project involves no tree removal and only minor grading. The subject property is located within a portion of the Montecito Riparian Corridor. Areas of the Montecito Riparian Corridor may contain areas of wetland. In addition to the 30-foot riparian setback, the County has implemented a 100-foot wetland setback for the potential wetland. The project also involves a Variance for the reduction in the wetland setback requirement and front setback requirement to allow for the proposed residence. The applicant proposes a 30 feet wetland setback and a 13 feet front setback, where 20 feet is required by the zoning district. The project is appealable to the California Coastal Commission.
12. **Surrounding Land Uses and Setting:** The property is located within an existing residential neighborhood and adjoins developed parcels on the north and east sides. Access is proposed from San Carlos Avenue, a public roadway. The property slopes downward from San Carlos

Avenue, with an average slope of approximately 19.4%. In addition, the subject property is located within a portion of the Montecito Riparian Corridor, which may contain areas of wetland.

13. **Other Public Agencies Whose Approval is Required:** None
14. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, has consultation begun?:** Yes, staff has sent out project referrals to affiliated tribes. Planning staff has consulted with the following tribes, as identified by the Native American Heritage Commission (NAHC): Amah Mutsun Tribal Band of Mission San Juan Bautista, Costanoan Rumsen Carmel Tribe, Indian Canyon Mutsun Band of Costanoan, Muwekma Ohlone Indian Tribe of the SF Bay Area, The Ohlone Indian Tribe, and Wuksache Indian Tribe (Eshom Valley Band). On January 18, 2023, a letter was sent to each of the contact persons provided by the NAHC regarding the subject project requesting comment by February 17, 2023. No comments were received during the consultation period.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Significant Unless Mitigated" as indicated by the checklist on the following pages.

X	Aesthetics		Energy		Public Services
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Recreation
	Air Quality		Hydrology/Water Quality		Transportation/Traffic
X	Biological Resources		Land Use/Planning		Tribal Cultural Resources
	Cultural Resources		Mineral Resources		Utilities/Service Systems
	Geology/Soils		Noise	X	Wildfire
	Climate Change		Population/Housing	X	Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to

applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.

c. **Mitigation Measures.** For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

6. **Lead agencies** are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

7. **Supporting Information Sources.** Sources used or individuals contacted should be cited in the discussion.

1. AESTHETICS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a substantial adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?			X	
<p>Discussion: The project site is not located in a scenic corridor minimally visible from the Pacific Ocean. The site is minimally visible from public lands, as it located approximately 200 feet from the southern border of Rancho Corral de Tierra, a portion of the Golden Gate National Recreation Area. The proposed residence would be minimally visible from the San Carlos and America trails within Rancho Corral de Tierra. However, the site abuts a developed residential area and would not impact existing views from these trails.</p> <p>The site is also minimally visible from adjoining areas within the residential neighborhood. The proposed residence and associated improvements would be directly visible from San Carlos Avenue. As the proposed residence and driveway would abut developed and vacant residential sites and blend in with other residences in the area, the project would not have a significant adverse effect on views from existing residence and public roadways.</p> <p>Source: Project Plans; County GIS Maps; Google Street View</p>				
1.b. Substantially damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
<p>Discussion: The project is not located within a designated scenic corridor, nor would it impact areas within a state scenic highway. The project does not involve removal of vegetation within the Montecito Riparian Corridor or the removal of any trees.</p> <p>Source: County GIS Maps; Project Plans.</p>				

<p>1.c. In non-urbanized areas, significantly degrade the existing visual character or quality of the site and its surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline? (Public views are those that are experienced from publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?</p>			X	
<p>Discussion: The subject property is located within an urbanized area. The design of the proposed residence takes into account the moderately sloped terrain of the property, and no trees are proposed for removal. The project involves only minor grading and would not significantly change the topography or ground surface features.</p> <p>Source: Google Street View; County GIS Maps; Topographic Survey</p>				
<p>1.d. Create a new source of significant light or glare that would adversely affect day or nighttime views in the area?</p>			X	
<p>Discussion: The project does not involve the introduction of significant light sources that would adversely affect day or nighttime views in the area, as the proposed single-family residence is located within an existing residential area. Additionally, proposed exterior lights are located only at doorways and at the garage door. Furthermore, design review standards of the Design Review (DR) District require downward-directed exterior light fixtures.</p> <p>Source: Project plans</p>				
<p>1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?</p>				X
<p>Discussion: The parcel is not situated within a state or county scenic corridor and is not located adjacent to a state highway. The project is located approximately 200 feet from the border of the Cabrillo Highway County Scenic Corridor and would be minimally visible from Cabrillo Highway.</p> <p>Source: County GIS Maps; Google Street View</p>				
<p>1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?</p>			X	
<p>Discussion: The site is located in a Design Review District. The project requires a Design Review Permit and is required to comply with applicable design review standards. The project has been reviewed and recommended for approval by the County Coastside Design Review Committee based on the compliance with applicable design review standards.</p> <p>The subject property is located within a portion of the Montecito Riparian Corridor. Areas of the Montecito Riparian Corridor may contain areas of wetland. In addition to the 30-foot riparian setback, the County has implemented a 100-foot wetland setback from the riparian boundary for the</p>				

potential wetland. The project also involves a Variance for the reduction in the wetland setback requirement and front setback requirement to allow for the proposed residence. The applicant proposes a 30 feet wetland setback and a 13 feet front setback, where 20 feet is required by the zoning district.

The project complies with the County General Plan Medium Density Residential land use designation which allows 6.1-8.7 du/acre. As proposed, the project density is approximately 6.2 du/acre. The proposed accessory dwelling unit is not subject to the density limit.

Source: County GIS Maps; County Zoning Regulations; Standards for Design for One- and Two-Family Residential Development in the Midcoast.

1.g. Visually intrude into an area having natural scenic qualities?			X	
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Discussion: Please see Section 1.c for discussion.

Source: Project Plans; County GIS Maps

2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X

Discussion: The project involves an urban, residential property located within a Single-Family Residential Zoning District in the Coastal Zone, which does not contain agricultural lands, prime soils, and is not farmed. There is no project impact to farmland, forestland, or timberland. In addition, the subject parcel is not subject to a Williamson Act contract.

Source: County GIS Maps

2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X
Discussion: See discussion under Section 2.a. Source: County GIS Maps				
2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?				X
Discussion: See discussion under Section 2.a. Source: Project plans; County GIS Maps				
2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?				X
Discussion: See discussion under Section 2.a. Source: County GIS Maps				
2.e. Result in damage to soil capability or loss of agricultural land?			X	
Discussion: See discussion under Section 2.a. Source: County GIS Maps				
2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))? <i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i>				X
Discussion: See discussion under Section 2.a. Source: County GIS Maps				

3. **AIR QUALITY.** Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
3.a. Conflict with or obstruct implementation of the applicable air quality plan?			X	

Discussion: The project involves no tree removal, only minor grading, and construction activities associated with the proposed residence.

The Bay Area Air Quality Management District (BAAQMD) has established thresholds of significance for construction emissions and operational emissions. As described in the BAAQMD's 2022 California Environmental Quality Act (CEQA) Guidelines, the BAAQMD does not require quantification of construction emissions due to the number of variables that can impact the calculation of construction emissions. Instead, the BAAQMD emphasizes implementation of all control measures to minimize emissions from construction activities. The BAAQMD provides a list of construction-related control measures, *All Basic Construction Mitigation Measures*, and other criteria, that, when fully implemented, would significantly reduce construction-related air emissions to a less than significant level. Mitigation Measure 1.a- 1.e requires the applicant to comply with BAAQMD's *All Basic Construction Mitigation Measures*. Other applicable BAAQMD criteria requires that construction-related activities exclude the below listed activities (followed by staff's evaluation of project compliance):

- a. Demolition: The project is undeveloped and would not require demolition of any existing buildings.
- b. Simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously): Staff has added this as Mitigation Measure 1.i to require compliance with this criteria.
- c. Simultaneous construction of more than one land use type (e.g., project would develop residential and commercial uses on the same site) (not applicable to high density infill development): The project only involves the construction of a single-family residential use only.
- d. Extensive site preparation (i.e., greater than default assumptions used by the Urban Land Use Emissions Model [URBEMIS] for grading, cut/fill, or earth movement): The project will not require extensive site preparation, and would only disturb approximately 1,700 square feet.
- e. Extensive material transport (e.g., greater than 10,000 cubic yards of soil import/export) requiring a considerable amount of haul truck activity: The project would not involve extensive material transport requiring off haul of approximately 20 c.y.

BAAQMD measures and compliance with criteria b. above are required by the mitigation measure provided below.

Mitigation Measure 1: Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.

- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- i. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously).

Source: Project Plans; Bay Area Air Quality Management District.

3.b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard?			X	
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Discussion: As of February 2023, San Mateo County is a non-attainment area for PM-2.5. On January 9, 2013, the Environmental Protection Agency (EPA) issued a final rule to determine that the Bay Area attains the 24-hour PM-2.5 national standard. However, the Bay Area will continue to be designated as "non-attainment" for the national 24-hour PM-2.5 standard until the BAAQMD submits a "re-designation request" and a "maintenance plan" to EPA and the proposed re-designation is approved by the EPA. A temporary increase in the project area is anticipated during construction since these PM-2.5 particles are a typical vehicle emission. The temporary nature of the proposed construction and California Air Resources Board vehicle regulations reduce the potential effects to a less than significant impact. Mitigation Measure 1 in Section 3.a. would minimize increases in non-attainment criteria pollutants generated from project construction.

Source: Project Plans; Bay Area Air Quality Management District.

3.c. Expose sensitive receptors to significant pollutant concentrations, as defined by Bay Area Air Quality Management District?			X	
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Discussion: See discussion in Section 3.a.				
Source: Project Plans; Bay Area Air Quality Management District				
3.d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	
Discussion: The project involves construction and operation of a single-family residence. While the project may result in dust and odors associated with the construction process, these odors would be temporary and would not affect a significant number of people due as the project only adjoins residential development to the north and east, and undeveloped parcels to the south and west.				
Source: Project Plans; Bay Area Air Quality Management District				

4. BIOLOGICAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service?		X		
<p>Discussion: The subject property is located within a portion of the Montecito Riparian Corridor. A Riparian Boundary Assessment (Assessment), dated February 14, 2020, was prepared for the project site by Patrick Kobernus of Coast Ridge Ecology, LLC (Project Biologist) (Attachment C1). The Assessment states that the unnamed creek that runs through the Montecito riparian corridor is located over 150 feet west of the property. The creek is shown as a perennial creek (solid blue line) on the 1997 USGS Montara Mountain 7.5 minute quadrangle map. The creek is shown as an intermittent stream on the 1949 version of this same map. The USGS defines a perennial stream as "a stream that normally has water in its channel at all times."</p> <p>On August 10, 2020, the Project Biologist observed that there was no standing water or flow in the channel, with some saturated mud in places. The creek has an approximate channel width of 5 feet and is incised approximately 5 feet (channel banks). Based on this recent site visit and previous visits to the property where the Project Biologist has not seen water in the creek, he determined that the creek is functioning more like an intermittent creek.</p> <p><i>Riparian Delineation and Associated Buffer Zone</i></p> <p>The Assessment delineates a riparian boundary, based on the presence of riparian species, including Arroyo willow (<i>Salix lasiolepis</i>), Sitka willow (<i>Salix sitchensis</i>), and pink-flowering current (<i>Ribes sanguineum</i> var. <i>glutinosum</i>). Based on this delineation (shown in Sheet A100 of the project plan set), the project would comply with the required buffer zone/setback of 30 feet from the riparian</p>				

corridor for intermittent streams, as set forth in the Local Coastal Policies (LCP) Section 7.12. While a cantilevered deck encroaches into this buffer zone, the deck does not have ground-based supports and would not impact any sensitive habitat in this area.

Presence of Wetland and Associated Buffer Zone

LCP Policy 7.14 (Definition of Wetland) defines wetland as an area where the water table is at, near, or above the land surface long enough to bring about the formation of hydric soils or to support the growth of plants which normally are found to grow in water or wet ground. Such wetlands can include mudflats (barren of vegetation), marshes, and swamps. Such wetlands can be either fresh or saltwater, along streams (riparian), in tidally influenced areas (near the ocean and usually below extreme high water of spring tides), marginal to lakes, ponds, and man-made impoundments. Wetlands do not include areas which in normal rainfall years are permanently submerged (streams, lakes, ponds and impoundments), nor marine or estuarine areas below extreme low water of spring tides, nor vernal wet areas where the soils are not hydric.

In San Mateo County, wetlands typically contain the following plants: cordgrass, pickleweed, jaumea, frankenia, marsh mint, tule, bullrush, narrow-leaf cattail, broadleaf cattail, pacific silverweed, salt rush, and bog rush. To qualify, a wetland must contain at least a 50% cover of some combination of these plants, unless it is a mudflat.

The Project Biologist prepared a clarification letter on the presence of Arroyo Willow and hydric soils (2022 Clarification Letter), dated September 1, 2022, included as Attachment C2. The 2022 Clarification Letter responds to public comments provided by Ms. Lennie Roberts of Green Foothills dated August 31, 2022 (Attachment D). The Project Biologist disagrees with Ms. Roberts's statement that Arroyo Willow indicates the presence of a wetland on the property. The Project Biologist states that Arroyo Willow is not an indicator of wetlands. The Project Biologist states that Arroyo willow is a tree/shrub that is more often growing in riparian areas that are not wetlands, but it has plasticity to tolerate saturated conditions, and is sometimes found growing on the edge of wetlands and partially within wetlands. He states that this is also true for other riparian trees such as red alder, coast dogwood, and black cottonwood, among others. Arroyo willow is often found in wide swaths (thickets) because it can tolerate drier conditions where the water table is lower and there is no soil saturation, such as riparian corridors and uplands, and this is essentially consistent with what defines a 'riparian' species. Alternatively, all of the plants listed as examples for the 50% cover requirement in Policy 7.14 Definition of Wetlands are species that occur in freshwater marsh and saltmarsh habitats, and primarily grow in saturated soil conditions (e.g., cordgrass, pickleweed, jaumea, frankenia, marsh mint, tule, bullrush, narrow-leaf cattail, broadleaf cattail, pacific silverweed, salt rush, and bog rush), which suggests that areas that would fall under the category of wetlands would have wetland hydrology, hydric soils, and/or OBL (obligate) wetland plant species.

The definition of a hydric soil is: "a soil that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part" (USDA Soil Conservation Service, 1994). Because of the slope of the property at 779 San Carlos Avenue, it's highly unlikely for hydric soils to be present because water has to pool or pond (continuous saturation, flooding or inundation) for a minimum of 14 days (for most soils) for hydric soil indicators to develop. Saturated streambeds and lakebeds may have hydric soils, but these features are not considered as wetlands, as streams and lakes (up to the water's edge/ Ordinary High Water Line) are considered Waters of the State and/or Waters of the US, depending on whether they drain into a navigable waterway. The streambed associated with the Montecito Riparian Corridor has a defined channel, and this channel would likely be considered Waters of the State and Waters of the US. This channel is over 150 feet from the subject property boundary

(CRE, 2020).

The Project Biologist conducted a site visit to the subject site on August 31st, 2022. The property includes an upland area on the east side (Photo 1), and a portion of the Montecito Riparian Corridor on the western side. The eastern portion of the property is dominated by upland vegetation (i.e., coyote brush, poison oak, pampas grass, ice plant and French broom). To the west of the property near the lower, western property line boundary, the topography flattens out with more hummocky ground, and the vegetation on site is still consistent with Policy 7.7 definition of a Riparian Corridor (Photo 2). No standing water was observed in this area. This area has over 50% cover Arroyo Willow, and understory plant species identified in this area during the field visit are listed below. No obligate wetland plant species were observed, including slough sedge (*Carex obtusata*). In addition, spreading rush (*Juncus patens*) a facultative species, was not observed.

However, as no wetland delineation was performed at the project site, Staff acknowledges that areas of the Montecito Riparian Corridor may contain areas of wetland. In addition to the 30-foot riparian setback, the County has implemented a 100-foot wetland setback from the riparian delineation for the potential wetland. The project also involves a Variance for the reduction in the wetland setback requirement and front setback requirement to allow for the proposed residence. The applicant proposes a 30 feet wetland setback and a 13 feet front setback, where 20 feet is required by the zoning district. The granting of the Variance would not cause a significant environmental impact, as potential wetland areas would be adequately protected by the 30 feet setback.

Protected Wildlife Species

On August 31st, 2022, within the western area of the property, the Project Biologist observed a large, active San Francisco dusky-footed woodrat (*Neotoma fuscipes annectens*; SFDFW) midden (i.e., nest structure), (Photo 3). This species is a California species of special concern. SF dusky-footed woodrat middens are frequently found in uplands and riparian areas but are not present in wetland areas where the nests would be seasonally flooded. This nest is well protected from any potential impact from development, as the nest is within the riparian corridor that would be protected, and more than 60 feet from the project area. Due to the presence of SFDFW, California Red - legged Frog (CRLF) and San Francisco Garter Snake (SFGS) may also be present at the site.

Staff has included standard biological mitigation measures as Mitigation Measure 2.

Mitigation Measure 2: The applicant shall implement the following mitigation measures to avoid direct impacts to California Red - legged Frog (CRLF), San Francisco dusky - footed woodrat (SFDFW), and San Francisco Garter Snake (SFGS) if present during the course of activities on the site:

- a. Pre - construction surveys for SFDFW houses shall be performed no less than 30 days prior construction (including ground disturbance work and/or demolition of existing structures). If stick houses are found and avoidance is not feasible, the houses shall be dismantled by hand under the supervision of a biologist. If young are encountered during the dismantling process, the material shall be placed back on the house and a buffer of 25 to 50 feet shall be established by the biologist for a minimum of three weeks to allow young time to mature and leave the nest. Nest material shall be moved to a suitable adjacent area for reuse. Pre - construction surveys shall be provided to the Project Planner for review and approval, prior to start of any work at the Project Site.
- b. A pre - construction survey for CRLF and SFGS shall be performed within 48 hours of ground disturbing activities. Non - listed species if found, may be relocated to suitable

habitat outside the Project Site. If CRLF and/or SFGS is found, work should be halted, and the USFWS will be contacted. If possible, CRLF and SFGS should be allowed to leave the area on its own. If the animal does not leave on its own, all work shall remain halted until the USFWS provide authorization for work to resume. Pre - construction surveys shall be provided to the Project Planner for review and approval, prior to start of any work at the Project Site.

- c. A biological monitor shall be present during initial vegetation removal and ground disturbing activities to ensure no CRLF and SFGS are present.
- d. No ground - disturbing work (including demolition or vegetation removal) shall be performed during or within 48 hours of any rain event (greater than 0.5 inches) between November 1 and April 31 when CRLF are most likely to disperse into upland habitats. Furthermore, no work shall occur within 30 minutes of sunrise or sunset during this period.
- f. Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic monofilament netting (erosion control matting), rolled erosion control products, or similar material shall not be used. Acceptable substitutes include coconut coir matting or tackifier hydroseeding compounds. Compliance shall be demonstrated in an erosion and sediment control plan provided with the building permit application.
- g. An environmental training shall be provided to all workers prior to the start of any activities regarding any sensitive biological resources. The training shall include steps to identify and respond to a sighting, the laws and regulations protecting those resources, and consequences of non-compliance. Date and time of each training shall be reported to the County within one week of completion.

Sources: Riparian Boundary Assessment Dated February 14, 2020; 2022 Clarification Letter dated September 1, 2022; Comments from Lennie Roberts of Green Foothills dated August 31, 2022; Assessment of Riparian Corridor Boundary for APN 047-105-020, El Granada, California, TRA Environmental Consultants, dated April 11, 2006.

4.b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?		X		
Discussion: Please see the discussion in Section 4.a, above.				
Sources: Riparian Boundary Assessment Dated February 14, 2020; 2022 Clarification Letter dated September 1, 2022; Comments from Lennie Roberts of Green Foothills dated August 31, 2022				
4.c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?		X		

<p>Discussion: Please see the discussion in Section 4.a, above.</p> <p>Sources: Riparian Boundary Assessment Dated February 14, 2020; 2022 Clarification Letter dated September 1, 2022; Comments from Lennie Roberts of Green Foothills dated August 31, 2022</p>				
4.d. Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?		X		
<p>Discussion: Please see the discussion in Section 4.a, above.</p> <p>Sources: Riparian Boundary Assessment Dated February 14, 2020; 2022 Clarification Letter dated September 1, 2022; Comments from Lennie Roberts of Green Foothills dated August 31, 2022</p>				
4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?				X
<p>Discussion: The project involves no tree removal. Furthermore, no significant or heritage tree is present on the subject property. For these reasons, the project complies with County tree preservation ordinances.</p> <p>Sources: Project plans; County Significant Tree Ordinance; County Heritage Tree Ordinance; Google Earth</p>				
4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan?				X
<p>Discussion: The project site is not subject to Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan. The proposed area of work is located adjacent to existing residences in a residential neighborhood.</p> <p>Source: County General Plan; County GIS Maps</p>				
4.g. Be located inside or within 200 feet of a marine or wildlife reserve?				X
<p>Discussion: The proposed project site is located more than 200 feet away from any designated marine or wildlife reserve. Rancho Corral De Tierra is located in close proximity to the project site, at approximately 200 feet. A number of residential properties currently exist near the park.</p> <p>As discussed in Section 4.a., the proposed project proposes to construct a single-family residence near the Montecito Riparian Corridor and a possible wetland. As proposed and mitigated, the potential adverse project impacts on habitats or species in the area would be reduced to a less than significant level.</p> <p>Source: County General Plan; County GIS Maps; Riparian Boundary Assessment Dated February</p>				

14, 2020;				
4.h. Result in loss of oak woodlands or other non-timber woodlands?				X
Discussion: The project would not involve the removal of oak woodlands or other non-timber woodlands. No trees are located at the site. Source: Google Earth; County GIS Maps				

5. CULTURAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a. Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?			X	
<p>Discussion: The project only involves minor earth-moving, including approximately 60 cy of cut and 40 cy of fill, and construction impacts and will unlikely result in any adverse impacts on archaeological resources. The project was referred to the California Historical Resources Information System (CHRIS). In a letter (Attachment E) dated January 25, 2023, CHRIS staff stated that a previous cultural resource study (Study #3082) for the project area is unclear as to whether the researchers surveyed the proposed project area. CHRIS staff recommends no further study for archaeological resources be conducted as project area has a low possibility of containing unrecorded archaeological site(s).</p> <p>Standard mitigation measures have been incorporated as follows:</p> <p>Mitigation Measure 3: Although no archaeological resources were found on the Project Area, it is possible that subsurface deposits may yet exist or that evidence of such resources has been obscured by more recent natural or cultural factors such as downslope aggradation and alluviation and the presence of non-native trees and vegetation. Archaeological and historical resources and human remains are protected from unauthorized disturbance by State law, and supervisory and construction personnel therefore must notify the County and proper authorities if any possible archaeological or historic resources or human remains are encountered during construction activities and halt construction to allow qualified Archaeologists to identify, record, and evaluate such resources and recommend an appropriate course of action.</p> <p>Mitigation Measure 4: In the event that cultural, paleontological, or archeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archeologist and any recording, protecting, or curating shall be borne solely by the project sponsor. The archeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.</p>				

Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Sources: Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023; Letter from Native American Heritage Commission Dated February 7, 2023

5.b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?			X	
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Discussion: Please see Section 5.a for discussion.

Sources: Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023; Letter from Native American Heritage Commission Dated February 7, 2023

5.c. Disturb any human remains, including those interred outside of formal cemeteries?			X	
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Discussion: To minimize potential impacts to human remains, the property owner shall implement the following standard mitigation measure:

Mitigation Measure 5: The applicants and contractors shall be prepared to carry out the requirements of California State law with regard to the discovery of human remains, whether historic or prehistoric, during grading and construction. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

Sources: Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023; Letter from Native American Heritage Commission Dated February 7, 2023

6. ENERGY. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
6.a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?				X

Discussion: Energy conservation standards for new residential and nonresidential buildings were adopted by the California Energy Resources Conservation and Development Commission (now the California Energy Commission) in June 1977 and are updated every 3 years (Title 24, Part 6, of the California Code of Regulations). Title 24 requires the design of building shells and building components to conserve energy. The standards are updated periodically to allow for consideration

and possible incorporation of new energy efficiency technologies and methods.

The County has adopted the 2022 Energy Code which encourages efficient electric heat pumps, establishes electric-ready requirements for new homes, expands solar photovoltaic and battery storage standards, strengthens ventilation standards, etc.

At the time of building permit application, the project would be required to demonstrate compliance with the current Building Energy Efficiency Standards which would be verified by the San Mateo County Building Department prior to the issuance of the building permit. The project would also be required adhere to the provisions of CALGreen and GreenPoints, which establishes planning and design standards for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants.

Construction

The construction of the project would require the consumption of nonrenewable energy resources, primarily in the form of fossil fuels (e.g., fuel oil, natural gas, and gasoline) for automobiles (transportation) and construction equipment. Transportation energy use during construction would come from the transport and use of construction equipment, delivery vehicles and haul trucks, and construction employee vehicles that would use diesel fuel and/or gasoline. The use of energy resources by these vehicles would fluctuate according to the phase of construction and would be temporary and would not require expanded energy supplies or the construction of new infrastructure. Most construction equipment during demolition and grading would be gas-powered or diesel powered, and the later construction phases would require electricity-powered equipment.

Operation

During operations, project energy consumption would be associated with resident and visitor vehicle trips and delivery trucks. The project is a residential development project served by existing road infrastructure and the proposed new driveway. Pacific Gas and Electric (PG&E) provides electricity to the project area. Due to the proposed construction of a single-family residence, project implementation would result in a permanent increase in electricity over existing conditions. However, such an increase to serve a single-family residence would represent an insignificant percent increase compared to overall demand in PG&E's service area. The nominal increased demand is expected to be adequately served by the existing PG&E electrical facilities and the projected electrical demand would not significantly impact PG&E's level of service. It is expected that nonrenewable energy resources would be used efficiently during operation and construction of the project given the financial implication of the inefficient use of such resources. As such, the proposed project would not result in wasteful, inefficient, or unnecessary consumption of energy resources. Impacts are less than significant, and no mitigation is required.

Source: California Building Code; California Energy Commission; County Building Division Webpage; Project Plans; Appendix F: EECAP Development Checklist

6.b.	Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.				X
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Discussion: The project design and operation would comply with State Building Energy Efficiency Standards, appliance efficiency regulations, and green building standards. Therefore, the project does not conflict with or obstruct state or local renewable energy plans and would not have a significant impact. Furthermore, the development would not cause inefficient, wasteful and unnecessary energy consumption. The project will be further review at the time of building permit application to ensure substantial compliance with applicable energy conservation requirements.

Source: County Building Division Webpage; Project Plans; Appendix F: EECAP Development Checklist

7. GEOLOGY AND SOILS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:			X	
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>			X	
Discussion: According to the County GIS System, the subject project is not located within a geological hazard zone. The site is subject to earthquakes due to the area's proximity to the San Andreas Earthquake Fault. The County Geotechnical Section reviewed the project and requires that a geotechnical report shall be provided at the building permit application stage, consistent with building code. Sources: County GIS Maps; Geotechnical Review (Conducted by the County Geotechnical Section)				
ii. Strong seismic ground shaking?			X	
Discussion: Please see Section 7.a for discussion. Sources: County GIS Maps, Geotechnical Review (Conducted by the County Geotechnical Section)				
iii. Seismic-related ground failure, including liquefaction and differential settling?			X	
Discussion: Please see Section 7.a for discussion. Sources: County GIS Maps; Geotechnical Review (Conducted by the County Geotechnical Section)				
iv. Landslides?			X	
Discussion: Please see Section 7.a for discussion.				

Sources: County GIS Maps; Geotechnical Review (Conducted by the County Geotechnical Section)

v. Coastal cliff/bluff instability or erosion?

Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).

X

Discussion: The project site is not located on or adjacent to a coastal cliff or bluff.

Sources: County GIS Maps; Geotechnical Review (Conducted by the County Geotechnical Section)

7.b. Result in substantial soil erosion or the loss of topsoil?

X

Discussion: The project site is moderately sloped at 19.4% and is located within a portion of the Montecito Riparian Corridor.

While the unnamed creek that runs through the Montecito riparian corridor is located over 150 feet west of the property, there is the potential for sedimentation in areas downslope from the project area into San Carlos Avenue and, less likely, to the creek should there be any precipitation during project grading or construction.

The project involves a minor amount of grading, including approximately 60 cubic yards (c.y.) of cut and 40 c.y. of fill. The project involves an estimated maximum area of land disturbance of approximately 2250 sq. ft, which is necessary to construct the proposed residence and associated improvements.

The applicant proposes an Erosion and Sediment Control Plan, included on page C-2 of Attachment B, which includes measures that would contain and slow run-off, while allowing for natural infiltration. Due to the potential for erosion and sedimentation during land disturbing and earth-moving activities, the following standard mitigation measures have been included:

Mitigation Measure 6: Prior to the issuance of the building permit for the residence, the applicant shall revise the Erosion Control Plan to include the driveway area and proposed measures and additional measures as follows, subject to the review and approval of the Community Development Director:

a. Protect Surface Water Locations: The Montecito Riparian Corridor is location within close proximity of proposed disturbed areas on the subject property. Please provide primary control measures (e.g., 2 rows of staked fiber rolls) along the edge of the riparian corridor.

b. Show location of utility trenches, indicate utility types, and identify timing of installation.

c. Construction Access Routes: Over access points at the end of the paved portion of San Carlos Avenue, construct a stabilized designated entrance(s), using 3" - 4" fractured aggregate over geo-textile fabric.

Mitigation Measure 7: The applicant shall adhere to the San Mateo County-wide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:

a. Delineation with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.

b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as

appropriate.

- c. Performing clearing and earth moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30. Stabilization shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as re-vegetating disturbed areas with plants propagated from seed collected in the immediate area.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving site shall be clear and running slowly at all times.

Mitigation Measure 8: Once approved, erosion and sediment control measures of the revised Erosion Control Plan shall be installed prior to beginning any site work and maintained throughout the term of grading and construction, until all disturbed areas are stabilized. Failure to install or maintain these measures will result in stoppage of construction until corrections have been made and fees paid for staff enforcement time. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Building Inspection Section.

Source: Project C3C6 form, Project Site Plan and Drainage Plan (Pages A-1 and C-1)

7.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?			X	
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Discussion: Regarding potential for landslide, erosion, and liquefaction, see discussion in Sections

7.a and 7.b above.				
Sources: County GIS Maps; Geotechnical Review (Conducted by the County Geotechnical Section)				
7.d. Be located on expansive soil, as defined in Table 18-1-B of Uniform Building Code, creating substantial direct or indirect risks to life or property?			X	
Discussion: The project site is unlikely located in an area with an identified risk for expansive soil. Further evaluation will be conducted by the County Geotechnical Section at the building permit application stage.				
Sources: County GIS Maps; Geotechnical Review (Conducted by the County Geotechnical Section)				
7.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X
Discussion: The project proposes to connect to the Granada Sanitary District (GSD). GSD has reviewed the project plans and the project will be subject to GSD permitting requirements. As public sewer service is available to the project site, no septic system is proposed as part of the project.				
Source: County GIS Maps; Project plans				
7.f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?			X	
Discussion: The project would unlikely result in any adverse impacts on any paleontological resources, as discussed in Section 5 above. Mitigation Measure 4 has been included to prevent any adverse impacts.				
Sources: Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023; Letter from Native American Heritage Commission Dated February 7, 2023				

8. CLIMATE CHANGE. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?			X	
Discussion: Greenhouse Gas Emissions (GHG) include hydrocarbon (carbon monoxide; CO2) air emissions from vehicles and machines that are fueled by gasoline. Grading involves GHG emissions mainly from exhaust from vehicle trips (e.g., construction vehicles and personal cars of construction workers, and operation of grading equipment). Due to the site's coastal location and				

assuming construction vehicles and workers are based largely in city or larger urban areas, potential project GHG emission levels from construction would be increased from general levels.

To ensure new development projects are compliant with the Climate Element of the County's General Plan, the County provides a Development Checklist (Attachment H). The project incorporates several measures recommend in the Checklist, including participation in an energy efficiency financing program, compliance with the Green Building Code and CALGreen Tier 1 efficiency standards, use of shading, "cool" surfaces design and/or open-grid paving, installation of a solar photovoltaic system, installation of solar water heater(s), use of pre-wire and pre-plumb for solar system, use of recycled materials for construction, zero waste measures, smart water meter, construction idling measures, and electrification of the new home.

The project involves a minor amount of grading, including approximately 60 cubic yards (c.y.) of cut and 40 c.y. of fill. It is anticipated that excavated materials would be reused as fill on the site, requiring off-haul of only 20 c.y. (approximately 2 truckloads). The project would also require importation of drain rock and aggregate rock; however, the volume of imported rock is also anticipated to be small. The project would be required to comply with the California Green Building Standards Code (CALGreen). Therefore, the project's generation of GHG emissions is anticipated to be less than significant level.

Mitigation Measure 9: At the time of building permit application, the applicant shall demonstrate compliance with the following measures as indicated on the applicant-completed Development Checklist (Attachment H) or equivalent measures, to the extent feasible. Such measures shall be shown on building plans.

- a. BAAQMD BMP: Comply with the Green Building Ordinance and achieve CALGreen Tier 1 energy efficiency standards;
- b. BAAQMD BMP: Install a solar photovoltaic system;
- c. BAAQMD BMP: Incorporate a minimum of 15% recycled materials into construction.

Source: Project plans

8.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?				X
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Discussion: The project involves construction of a single-family residence and associated improvements. The Bay Area Air Quality Management District (BAAQMD) exempts construction and operation of residential uses from permit requirements (Regulation 2-1-113). See further discussion in Section 3.

Source: Bay Area Air Quality Management District

8.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?				X
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Discussion: As discussed in Section 2, the project would not result in the loss of forestland or conversion of forestland to non-forest use, as the project site does not contain forestland. In

<p>addition, the project proposes no tree removal and would result in negligible disturbance to existing vegetation.</p> <p>Sources: County GIS Maps; Project Plans</p>				
8.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p>Discussion: The project is not located on or adjacent to a coastal cliff or bluff.</p> <p>Source: County GIS Maps</p>				
8.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p>Discussion: The project is not located on or adjacent to the San Francisco Bay or Pacific Ocean and therefore not expose people or structures to any risks related to sea level rise.</p> <p>Source: County GIS Maps</p>				
8.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The project site is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0138F, effective August 2, 2017.</p> <p>Source: County GIS Maps</p>				
8.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: See discussion in Section 8.f.</p> <p>Source: County GIS Maps</p>				

9. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides,				X

other toxic substances, or radioactive material)?				
<p>Discussion: No such use is proposed. The project only involves the construction and operation of a single-family residence.</p> <p>Source: Project plans</p>				
9.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p>Discussion: No use involving the storage or release of hazardous materials is proposed. The project only involves the construction and operation of a single-family residence.</p> <p>Source: Project plans</p>				
9.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
<p>Discussion: No use involving the emission or handling of hazardous materials or waste is proposed. The project only involves the construction and operation of a single-family residence.</p> <p>Source: Project plans; County GIS Maps</p>				
9.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p>Discussion: The project site is not a listed hazardous materials site.</p> <p>Source: County GIS Maps</p>				
9.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?				X

Discussion: Upon review of the provisions of the Half Moon Bay Airport Land Use Compatibility Plan (HMB-ALUCP) for the environs of Half Moon Bay Airport, as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014, staff has determined that the project site is located in Zone 7 – Airport Influence Area (AIA) where the airport accident risk level is considered low. Within the AIA Zone, Airport Land Use Commission review is required for any proposed structure taller than 100 feet above ground level. The proposed structure is less than 30 feet in height.

Residential uses are considered conditionally compatible in areas exposed to noise levels between 60-64 dB Community Noise Equivalent Level (CNEL) only if the proposed use is on a lot of record zoned exclusively for residential use as of the effective date of the ALUCP. Residential uses are not considered compatible above 65 CNEL. The project would be exposed to noise levels of less than 60 dB CNEL based on ALUC adopted craft noise exposure contours.

Source: Half Moon Bay Airport Land Use Compatibility Plan; County GIS Maps

9.f. For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?				X
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Discussion: The project site is located within a residential area, and, based on a review of aerial satellite imagery, is not within the immediate vicinity of a private airstrip.

Source: County GIS Maps

9.g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
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Discussion: The project involves the construction and operation of a single-family residence that provides sufficient, compliant on-site parking. The project would not permanently or significantly impede access on existing public roads. Furthermore, the project has been reviewed and approved with conditions by the County Public Works Department and the Coastside Fire Protection District.

Sources: Project plans, County GIS Maps

9.h. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?			X	
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Discussion: The project site is located within a designated Local Responsibility Area (LRA) fire hazard zone and Wildland Urban Interface Zone. As proposed, the project meets requirements relating to fire-resistant exterior materials and fire sprinklers. The project has been conditionally approved by the Coastside Fire Protection District (CFPD). Additionally, the proposed residence would provide 2 covered parking spaces and one uncovered on-site parking space, which would adequately prevent excessive street parking which may impede fire access. Based on the foregoing, the project would very unlikely result in a significant risk of loss, injury, or death involving wildland fires.

Source: County GIS Maps.

9.i. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood				X
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Insurance Rate Map or other flood hazard delineation map?				
<p>Discussion: The project site is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0138F, effective August 2, 2017.</p> <p>Source: County GIS Maps.</p>				
9.j. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: See discussion in Section 9.i.</p> <p>Source: County GIS Maps.</p>				
9.k. Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: The project site is location within the area of minimum flood hazard as discussed in Section 9.i. Additionally, the project has been reviewed by the County Drainage Section for compliance with the County Drainage Manual. The County Drainage Section would further review the drainage aspect of the project at the building permit application stage.</p> <p>Source: County GIS Maps.</p>				

10. HYDROLOGY AND WATER QUALITY. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?			X	
<p>Discussion: Regarding the potential impact of construction-related erosion and sedimentation to water quality, please see discussion in Section 7.b, above. Regarding post-construction, the project involves the construction and operation of a new single-family residence and would unlikely result in</p>				

the violation of any water quality standards or waste discharge requirements.				
Source: Project plans				
10.b.	Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?			X
Discussion: The project would not substantially decrease groundwater supplies or interfere substantially with groundwater recharge, as the applicant proposes to connect to the domestic water service, provided by the Coastside Water District.				
Source: Project plans				
10.c.	Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner that would:		X	
i.	Result in substantial erosion or siltation on- or off-site;		X	
Discussion: The project would result in approximately 2,250 sq. ft. of new impervious surface and proposes energy dissipaters at the end of the new driveway in the public right-of-way, as well as a swale and a rock retention pit to handle drainage from house construction. The project could potentially alter the existing drainage pattern of the site or area. The County requires that post-construction project run-off comply with standard requirements of the Municipal Regional Permit Provision C.3.i and the County's Drainage Policy. Project compliance with these regulations would prevent the substantial alteration of existing drainage patterns of the site and area. The project does not involve alteration of the course of a stream or river.				
Sources: Project C3C6 form, Project Plans				
ii.	Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;		X	
Discussion: Please see Section 10.c for discussion. The project would not result in the alteration of the course of a stream or river.				
Sources: Project plans; Project C3C6 form				
iii.	Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or		X	

<p>Discussion: Please see Section 10.c, above, for discussion.</p> <p>Sources: Project plans; Project C3C6 form</p>				
10.d.	Significantly degrade surface or groundwater water quality?			X
<p>Discussion: With the implementation of mitigation measures as discussed in Section 7.b, potential project impacts to surface water quality related to sedimentation would be reduced to a less than significant level.</p> <p>Sources: Project plans; Project C3C6 form</p>				
10.e.	Result in increased impervious surfaces and associated increased runoff?			X
<p>Discussion: Please see Section 10.c for discussion.</p> <p>Sources: Project plans; Project C3C6 form</p>				
	iv. Impede or redirect flood flows?			X
<p>Discussion: The project would not impede or redirect flood flows There is no work proposed within an existing drainage channel or creek.</p> <p>Sources: Project plans; Project C3C6 form</p>				
10.f.	In flood hazard, tsunami, or seiche zones, create or contribute runoff water which would risk release of pollutants due to project inundation?			X
<p>Discussion: The site is located approximately 2,500 feet from the boundary of the tsunami inundation zone. Inundation by seiche, tsunami, or mudflow is not identified as potential concerns, according to the County GIS Maps</p> <p>Sources: Project plans; County GIS Maps; Project C3C6 form</p>				
10.g.	Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?			X
<p>Discussion: The project includes proposes to connect to the domestic water service, provided by Coastside Water District. Additionally, see Section 10.c for discussion regarding potential impact to stormwater quality.</p> <p>Sources: Project plans; Project C3C6 form</p>				

11. LAND USE AND PLANNING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
11.a. Physically divide an established community?				X
<p>Discussion: The proposed single-family residential development would not result in the physical division of an established community.</p> <p>Sources: County GIS Maps</p>				
11.b. Cause a significant environmental impact due to a conflict with any applicable land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			X	
<p>Discussion: Due to the site constraints as a result of the implementation of riparian and wetland setback requirements, the project requests a Variance to reduce the setback from the front lot line and the edge of the potential wetland. See further discussion in Section 4.a. above. The granting of the Variance would not cause a significant environmental impact, as potential wetland areas would be adequately protected and the front setback is adequate to allow for the residence and blend in with surrounding development.</p> <p>Source: County GIS Maps</p>				
11.c. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities; new industry, commercial facilities or recreation activities)?			X	
<p>Discussion: The site is a vacant parcel located approximately 470 feet northwest of the intersection of Palomar Avenue and San Carlos Avenue. The project site can be accessed from San Carlos Avenue. The project would connect to the Coastside County Water District for domestic water services, which provides service to this area.</p> <p>Sources: Project plans; County GIS Maps</p>				

12. MINERAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
Discussion: The project does not involve any mining or extraction of minerals. Sources: Project plans				
12.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
Discussion: The project would not affect any nearby mineral resource recovery site, if such a site should exist nearby. Sources: Project plans; County GIS Maps				

13. NOISE. Would the project result in:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
Discussion: The project would generate additional non-substantial, temporary noise associated with grading and construction. However, such noises will be temporary, where volume and hours are regulated by Section 4.88.360 (Exemptions) of the County Ordinance Code. Sources: Project plans				
13.b. Generation of excessive ground-borne vibration or ground-borne noise levels?			X	
Discussion: The project would not involve a pile-driven foundation. Please see discussion in Section 13.a. Sources: Project plans				

13.c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project site is not in the vicinity of a private airstrip. Please see discussion in Section 9.e, above.</p> <p>Sources: Project plans; Half Moon Bay Airport Land Use Compatibility Plan</p>				

14. POPULATION AND HOUSING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X	
<p>Discussion: The project involves the development of a vacant parcel at the edge of a developed residential area and the Montecito Riparian Corridor. Development of the parcel would not impact vegetation on adjoining undeveloped lots of the Montecito Riparian Corridor. Development of adjoining areas are subject to separate County regulations and CEQA review, whereby approval of this project would not allow development on adjoining parcels. Due to the location of the garage on the eastern side of the property, the existing road is adequate to serve the project. Additionally, no road extension is needed for this project.</p> <p>Sources: Project plans</p>				
14.b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X
<p>Discussion: The project site is an undeveloped, residential parcel. The proposed structure and associated improvements support this use. The project would provide two additional housing units and would not displace any existing housing.</p> <p>Sources: Project plans</p>				

15. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Fire protection?			X	
15.b. Police protection?			X	
15.c. Schools?			X	
15.d. Parks?			X	
15.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?			X	
<p>Discussion: The project involves the construction of one single-family residence on a legal parcel within an existing residential neighborhood in the unincorporated El Granada in the San Mateo County. The project has been reviewed and preliminarily approved by the Coastside Fire Protection District. The project site is located in an established residential neighborhood, where police, school and park services presently exist in this area.</p> <p>Sources: Project plans</p>				

16. RECREATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X	
<p>Discussion: The project involves the construction of a single-family residence that would not significantly increase the use of existing neighborhood or regional parks or other recreational facilities.</p> <p>Sources: Project plans</p>				
16.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an				X

adverse physical effect on the environment?				
<p>Discussion: The project does not involve the construction of any recreational facilities. The project involves the construction of one single-family residence with an attached accessory dwelling unit (ADU) on a residentially-zoned parcel and would not require the construction or expansion of existing recreational facilities.</p> <p>Sources: Project plans</p>				

17. TRANSPORTATION/TRAFFIC. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities, and parking?			X	
<p>Discussion: The project site can be assessed from San Carlos Avenue, a public road that is improved to the front of the project site. Due to the location of the garage on the eastern side of the property, the existing road is adequate to serve the project. Additionally, no road extension is needed for this project.</p> <p>The County LCP (Policy 2.52) exempts the development of singular single-family dwellings from the development and implementation of a traffic impact analysis and mitigation plan. The project involves the construction of one single-family residence and associated improvements and would result in a temporary increase in traffic levels during construction and a negligible permanent increase in traffic levels after construction. The proposed use is a private single-family residential use and provides adequate on-site parking. Therefore, the project does not conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system.</p> <p>Sources: Project plans, Local Coastal Program (LCP)</p>				
17.b. Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts</i> ?			X	
<p><i>Note to reader: Section 15064.3 refers to land use and transportation projects, qualitative analysis, and methodology.</i></p> <p>Discussion: CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts</i>, describes specific considerations for evaluating a project's transportation impacts. It states that, generally, vehicle miles traveled is the most appropriate measure of transportation impacts. "Vehicle miles traveled" refers to the amount and distance of automobile travel attributable to a project. Other relevant considerations may include the effects of the project on transit and non-motorized travel. The project involves the construction of one single-family residence with an</p>				

<p>attached accessory dwelling unit (ADU) within an existing residential neighborhood. The project would only result in a temporary increase in traffic levels during construction and a negligible permanent increase in traffic levels after construction. Therefore, the project does not conflict with CEQA Guidelines Section 15064.3.</p> <p>Sources: Project plans</p>				
17.c. Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
<p>Discussion: The project site can be assessed from San Carlos Avenue, a public road that is improved to the front of the project site. The project has been reviewed and preliminarily approved by the County Department of Public Works.</p> <p>Sources: Project plans</p>				
17.d. Result in inadequate emergency access?				X
<p>Discussion: The project has been reviewed and preliminarily approved by the Coastside Fire Protection District and would not result in inadequate emergency access.</p> <p>Sources: Project plans</p>				

18. TRIBAL CULTURAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
18.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				X
i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)				X
<p>Discussion: The project site is vacant. The project site is not listed or eligible for listing in the California Register of Historical Resources. Furthermore, the project is not listed in a local register of historical resources, pursuant to any local ordinance or resolution as defined in Public Resources</p>				

Code Section 5020.1(k).

Sources: Project Plans; County GIS Maps; Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023

- ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

Discussion: Staff requested a Sacred Lands file search of the project vicinity, which was conducted by the Native American Heritage Council (NAHC) and resulted in no found records (Attachment E). Planning staff has consulted with the following tribes, as identified by the NAHC:

- Amah Mutsun Tribal Band of Mission San Juan Bautista
- Costanoan Rumsen Carmel Tribe
- Indian Canyon Mutsun Band of Costanoan
- Muwekma Ohlone Indian Tribe of the SF Bay Area
- The Ohlone Indian Tribe
- Wuksache Indian Tribe/Eshom Valley Band

On January 18, 2023, a letter was sent to each of the contact persons provided by the NAHC regarding the subject project requesting comment by February 17, 2023. No comments were received during the commenting period.

The project is not subject to Assembly Bill 52 for California Native American tribal consultation requirements, as no traditionally or culturally affiliated tribe has requested, in writing to the County to be informed of proposed projects in the geographic project area.

Sources: Project Plans; County GIS Maps; Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023; Letter from Native American Heritage Commission Dated February 7, 2023

19. UTILITIES AND SERVICE SYSTEMS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
19.a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or				X

telecommunications facilities, the construction or relocation of which could cause significant environmental effects?				
<p>Discussion: The project will connect to existing public utilities systems and will provide on-site drainage systems. For these reasons, the project would not require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects.</p> <p>Source: Project Plans</p>				
19.b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?				X
<p>Discussion: The project includes proposes to connect to the Coastside County Water District (CCWD) for domestic water services. CCWD has reviewed the project plans and the project will be subject to permitting requirements.</p> <p>Source: Project Plans</p>				
19.c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p>Discussion: Please see discussion in Section 19.a, above.</p> <p>Source: Project Plans</p>				
19.d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?				X
<p>Discussion: The project involves the construction of one single-family residence with an attached accessory dwelling unit (ADU) and would result in a negligible increase in solid waste disposal needs. The site would be served by public solid waste services.</p> <p>Source: Project Plans</p>				
19.e. Comply with Federal, State, and local statutes and regulations related to solid waste?				X
<p>Discussion: The project involves the construction of one single-family residence with an attached accessory dwelling unit (ADU), would result in a negligible increase in solid waste disposal needs, and would be served by public solid waste services.</p>				

Source: Project Plans

20. WILDFIRE. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:				
	<i>Potentially Significant Impacts.</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
20.a. Substantially impair an adopted emergency response plan or emergency evacuation plan?			X	
<p>Discussion: The project site is located within a designated Local Responsibility Area (LRA) fire hazard zone and Wildland Urban Interface Zone. The project has been conditionally approved by The Coastside Fire Protection District (CFPD). Additionally, the proposed residence would provide 2 covered and 1 uncovered on-site parking spaces, which would adequately prevent excessive street parking that could impair emergency access. Based on the foregoing, the project would not impair any emergency response or emergency evacuation plan.</p> <p>Source: County GIS Map; CALFIRE GIS Maps; CFPD Conditions</p>				
20.b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?				X
<p>Discussion: The site is moderately sloped at 19.4%. The project has been conditionally approved by (CFPD). CFPD will further review the project at the building permit application stage to ensure compliance with all applicable fire protection measures and requirements, including regulations requiring the use of fire-resistant exterior materials and fire sprinklers.</p> <p>Source: County GIS Map</p>				
20.c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?				X
<p>Discussion: Please see discussion in Sections 20.a and 20.b.</p> <p>Source: County GIS Map.</p>				
20.d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a			X	

result of runoff, post-fire slope instability, or drainage changes?				
Discussion: Please see discussion in Sections 20.a and 20.b. Source: County GIS Map; C3 C6 Form				

21. MANDATORY FINDINGS OF SIGNIFICANCE.				
	<i>Potentially Significant Impacts.</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
21.a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?			X	
Discussion: As discussed in this document, the project has the potential to result in less than significant environmental impacts. Implementation of mitigation measures included in this document would adequately minimize project environmental impacts to a less-than-significant level. Source: Subject document.				
21.b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)			X	
Discussion: The project involves the construction and operation of a single-family residence on a parcel located within a portion of the Montecito Riparian Corridor. Development of the parcel would not impact vegetation on adjoining undeveloped lots of the Montecito Riparian Corridor and approval of this project does not allow development on adjoining parcels, which is subject to separate CEQA review. Between 1997 and 2016, the County issued six (6) planning permits for single-family residential developments on other parcels within the Montecito Riparian Corridor. Five (5) single-family				

developments were subsequently built following the issuance of these planning permits.

Additionally, based on the adequate vehicle access for the project without need for a road extension, the infill nature of the proposed residential construction, and existing water and sewer services in the area, the project is would not have a cumulatively considerable impact when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.

Source: Subject document.

21.c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?			X	
--	--	--	---	--

Discussion: The project, as proposed and mitigated, would not result in any substantial adverse impacts on human beings. Implementation of mitigation measures included in this document would adequately prevent any significant environmental impacts and minimize any environmental impacts to a less-than-significant level.

Source: Subject document.

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
Bay Area Air Quality Management District		X	
CalTrans		X	
City		X	
Coastal Commission		X	
County Airport Land Use Commission (ALUC)		X	
Other: None			
National Marine Fisheries Service		X	
Regional Water Quality Control Board		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
Sewer/Water District: MWSD		X	
State Department of Fish and Wildlife		X	
State Department of Public Health		X	
State Water Resources Control Board		X	

MITIGATION MEASURES		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	X	
Other mitigation measures are needed.		X
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p>Mitigation Measure 1: Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:</p> <ol style="list-style-type: none"> All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. All vehicle speeds on unpaved roads shall be limited to 15 mph. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously). <p>Mitigation Measure 2: The applicant shall implement the following mitigation measures to avoid direct impacts to California Red - legged Frog (CRLF), San Francisco dusky - footed woodrat (SFDFW), and San Francisco Garter Snake (SFGS) if present during the course of activities on the site:</p> <ol style="list-style-type: none"> Pre - construction surveys for SFDFW houses shall be performed no less than 30 days prior construction (including ground disturbance work and/or demolition of existing structures). If stick houses are found and avoidance is not feasible, the houses shall be dismantled by hand under the supervision of a biologist. If young are encountered during the dismantling process, the material shall be placed back on the house and a 		

buffer of 25 to 50 feet shall be established by the biologist for a minimum of three weeks to allow young time to mature and leave the nest. Nest material shall be moved to a suitable adjacent area for reuse. Pre - construction surveys shall be provided to the Project Planner for review and approval, prior to start of any work at the Project Site.

- b. A pre - construction survey for CRLF and SFGS shall be performed within 48 hours of ground disturbing activities. Non - listed species if found, may be relocated to suitable habitat outside the Project Site. If CRLF and/or SFGS is found, work should be halted, and the USFWS will be contacted. If possible, CRLF and SFGS should be allowed to leave the area on its own. If the animal does not leave on its own, all work shall remain halted until the USFWS provide authorization for work to resume. Pre - construction surveys shall be provided to the Project Planner for review and approval, prior to start of any work at the Project Site.
- c. A biological monitor shall be present during initial vegetation removal and ground disturbing activities to ensure no CRLF and SFGS are present.
- d. No ground - disturbing work (including demolition or vegetation removal) shall be performed during or within 48 hours of any rain event (greater than 0.5 inches) between November 1 and April 31 when CRLF are most likely to disperse into upland habitats. Furthermore, no work shall occur within 30 minutes of sunrise or sunset during this period.
- f. Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic monofilament netting (erosion control matting), rolled erosion control products, or similar material shall not be used. Acceptable substitutes include coconut coir matting or tackifier hydroseeding compounds. Compliance shall be demonstrated in an erosion and sediment control plan provided with the building permit application.
- g. An environmental training shall be provided to all workers prior to the start of any activities regarding any sensitive biological resources. The training shall include steps to identify and respond to a sighting, the laws and regulations protecting those resources, and consequences of non-compliance. Date and time of each training shall be reported to the County within one week of completion.

Mitigation Measure 3: Although no archaeological resources were found on the Project Area, it is possible that subsurface deposits may yet exist or that evidence of such resources has been obscured by more recent natural or cultural factors such as downslope aggradation and alluviation and the presence of non-native trees and vegetation. Archaeological and historical resources and human remains are protected from unauthorized disturbance by State law, and supervisory and construction personnel therefore must notify the County and proper authorities if any possible archaeological or historic resources or human remains are encountered during construction activities and halt construction to allow qualified Archaeologists to identify, record, and evaluate such resources and recommend an appropriate course of action.

Mitigation Measure 4: In the event that cultural, paleontological, or archeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archeologist and any recording, protecting, or curating shall be borne solely by the project sponsor. The archeologist shall be required to submit to the Community Development Director for review and approval a

report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 5: The applicants and contractors shall be prepared to carry out the requirements of California State law with regard to the discovery of human remains, whether historic or prehistoric, during grading and construction. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

Mitigation Measure 6: Prior to the issuance of the building permit for the residence, the applicant shall revise the Erosion Control Plan to include the driveway area and proposed measures and additional measures as follows, subject to the review and approval of the Community Development Director:

- a. **Protect Surface Water Locations:** The Montecito Riparian Corridor is location within close proximity of proposed disturbed areas on the subject property. Please provide primary control measures (e.g., 2 rows of staked fiber rolls) along the edge of the riparian corridor.
- b. Show location of utility trenches, indicate utility types, and identify timing of installation.
- c. **Construction Access Routes:** Over access points at the end of the paved portion of San Carlos Avenue, construct a stabilized designated entrance(s), using 3" - 4" fractured aggregate over geo-textile fabric.

Mitigation Measure 7: The applicant shall adhere to the San Mateo County-wide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:

- a. Delineation with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earth moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30. Stabilization shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as re-vegetating disturbed areas with plants propagated from seed collected in the immediate area.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and

obtain all necessary permits.

- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving site shall be clear and running slowly at all times.

Mitigation Measure 8: Once approved, erosion and sediment control measures of the revised Erosion Control Plan shall be installed prior to beginning any site work and maintained throughout the term of grading and construction, until all disturbed areas are stabilized. Failure to install or maintain these measures will result in stoppage of construction until corrections have been made and fees paid for staff enforcement time. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Building Inspection Section.

Mitigation Measure 9: At the time of building permit application, the applicant shall demonstrate compliance with the following measures as indicated on the applicant-completed Development Checklist (Attachment H) or equivalent measures, to the extent feasible. Such measures shall be shown on building plans.

- a. BAAQMD BMP: Comply with the Green Building Ordinance and achieve CALGreen Tier 1 energy efficiency standards;
- b. BAAQMD BMP: Install a solar photovoltaic system;
- c. BAAQMD BMP: Incorporate a minimum of 15% recycled materials into construction.

DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

X

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

Glen Jia

(Signature)

April 19, 2023

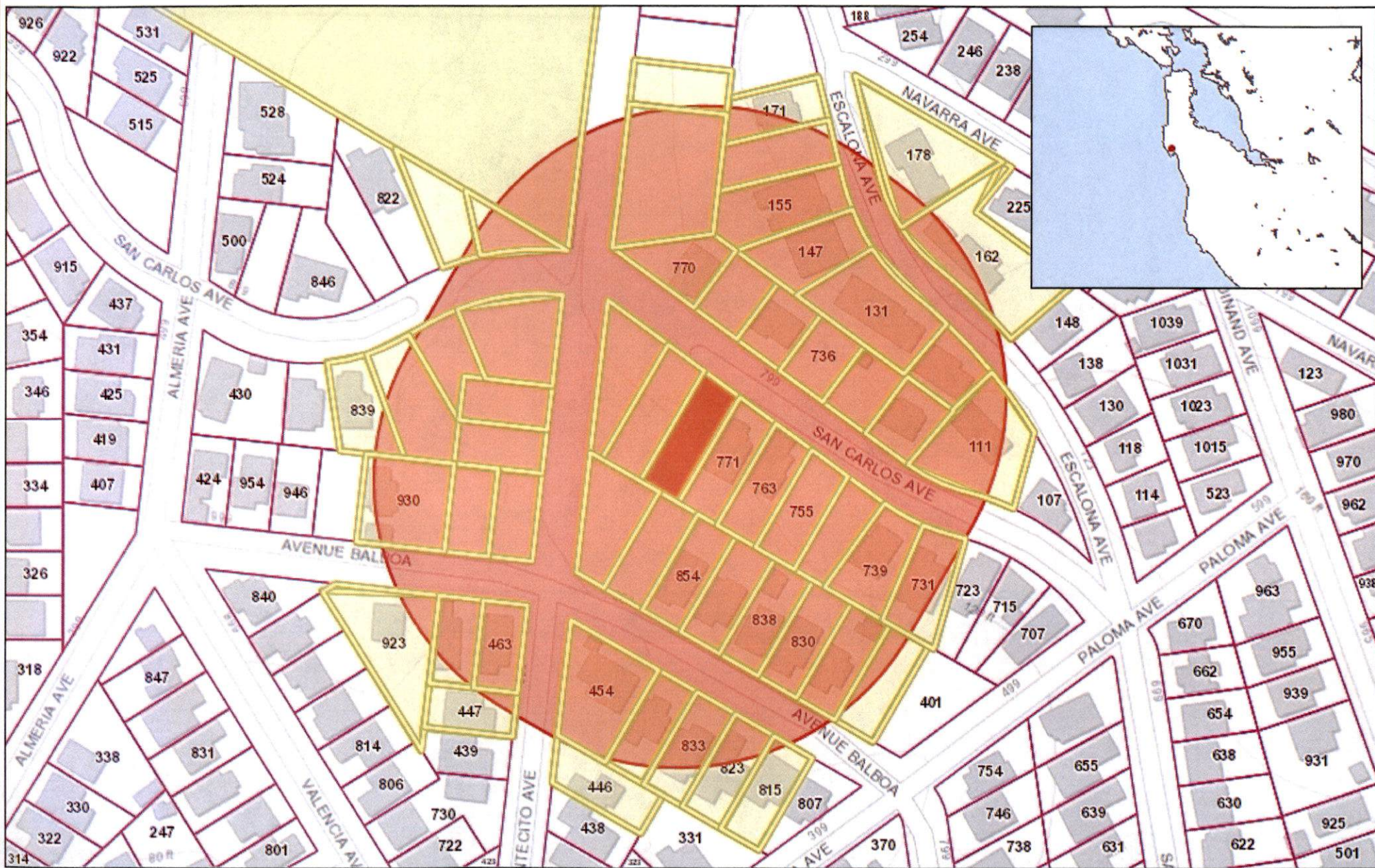
Glen Jia, Project Planner

Date

(Title)

ATTACHMENTS:

- A. Vicinity Map
- B. Project Plans
- C. Biological Reports and Related Documents:
 - 1. Riparian Boundary Assessment Dated February 14, 2020;
 - 2. 2022 Clarification Letter dated September 1, 2022;
 - 3. Comments from Lennie Roberts of Green Foothills dated August 31, 2022
 - 4. San Mateo County Montecito Riparian Corridor Map
- D. Cultural Resource Documents
 - 1. Letter from California Historical Resources Information System (CHRIS) Staff Dated January 25, 2023;
 - 2. Letter from Native American Heritage Commission Dated February 7, 2023
- E. Appendix F: EECAP Development Checklist
- F. CFPD Conditions



0.07 0 0.04 0.07 Miles

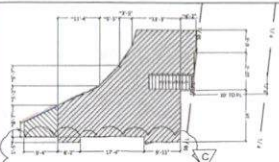
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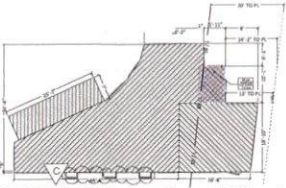


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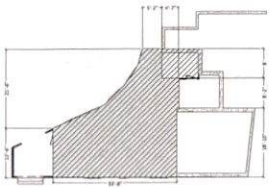
THIS MAP IS NOT TO BE USED FOR NAVIGATION



UPPER LEVEL, 707 sqft.
ROOF DECK, 57 sqft



STREET LEVEL, 1st Floor: 1113 sqft.
inclusive of 65 sqft setback area
CANTILEVER DECK: 179 sqft
GARAGE: 381 sqft

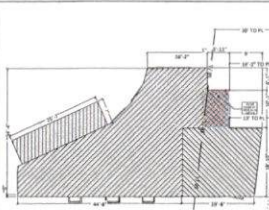


LOWER LEVEL ADU, 795 sqft.
LAUNDRY/MECH ROOM, 88 sqft
patio, 120 sqft

4 Floor Area Schemes

scale 1/16" = 1'-0"

Parcel coverage areas are calculated using the CAD polygon area functions within the program.



3 Coverage Scheme; 1685 SQFT
scale 1/16" = 1'-0"



2 Parcel Map
scale None



1 Vicinity Map
scale None

GENERAL CODES:

- SMOKE DETECTORS SHALL BE INSTALLED IN EVERY SLEEPING ROOM AND AT POINTS CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN NEW CONSTRUCTION, ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP.
- TEMPERED SAFETY GLASS IS REQUIRED AT ALL SLIDING GLASS DOORS, SIDELIGHTS ADJACENT TO DOORS, AND GLAZING LOCATED LESS THAN 18" FROM THE FLOOR, SHOWERS AND TUB ENCLOSURES, OR ANY HAZARDOUS LOCATIONS FOR GLAZING WHICH COULD BE SUBJECT TO HUMAN IMPACT.
- ALL DOORS AND WINDOWS TO OUTSIDE OR UNCONDITIONED AREAS SHALL BE WEATHER STRIPPED. ALL MANUFACTURERS OF PRODUCTS SHALL BE APPROVED BY A.N.S.I.
- PROVIDE APPROVED FLASHING AT ALL OPENINGS AT THE EXTERIOR WALLS, SUCH AS DOOR, WINDOWS, SKYLIGHTS, VENTS, PIPES, DUCTS, UNLESS OTHERWISE NOTED.
- ALL LATH AND PLASTER SHALL CONFORM TO U.B.C. CHAPTER 25. EXTERIOR PLASTER SHALL BE APPLIED WITH 3 COATS, 7/8" THICK MINIMUM APPLIED OVER 2 LAYERS OF #15 GRADE "D" FELL, WITH GALVANIZED METAL SCREEDS AND WEEP SCREEDS.
- ALL WATER CLOSETS AND BIDETS SHALL BE PROVIDED WITH A MINIMUM OF 30" CLEAR FLOOR SPACE OR 15" MINIMUM FROM CENTERLINE OF THE FIXTURE TO ANY WALL OR VERTICAL SURFACE ON EITHER SIDE OF THE FIXTURE.
- ALL HALLWAYS WILL PROVIDES MINIMUM CLEAR WIDTH OF 36".
- AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED. THE ENTIRE STRUCTURE SHALL HAVE FIRE SPRINKLERS, THEY MUST BE DRAWN BY A CONTRACTOR HAVING A C-16 LICENSE. THE SUBCONTRACTOR SHALL PRODUCE DRAWINGS FOR APPROVAL BY THE CITY, COUNTY OR FIRE DEPARTMENT.

SITE ANALYSIS.

PROPERTY OWNERS:
Rodrigo and Elizabeth Lacasia
4 El Sereno Dr.
San Carlos CA, 94070

ZONING REQUIREMENTS AND BUILDING DATA

The proposed project conforms to the San Mateo County Planning Division standards for One/Two Family Residential Development in the Midcoast Section 6565.20.

ZONING: R-1, S-17 One family Residential Mid-Coast District
APN: 047-105-020, 779 San Carlos Avenue, El Granada CA 94019
Site frontage 50.33 ft.
Site rear 50.00 ft.
Site left 138.52 ft.
Site right 144.28 ft.
Lot size 7070 sq.ft.
Lot slope greater than 1 foot fall per 7 feet run.

SETBACKS S-17 STANDARDS PROPOSED

Facade Articulation Compliance
*For structures 16 feet in height or less: 5 feet each side. For structures over 16 feet in height: combined total of 15 feet with a minimum of 5 feet on any side

	REQUIRED	PROPOSED
Right set back	5 ft.	10 ft.
Left set back	5 ft.	5 ft.
Front set back	20 ft.	13'-0" for entry with variance. Garage is permitted per SMC Section 6411.
Area of requested variance outline =	85 sqft.	
Rear set back	20 ft.	70'-0"

SECTION 6411. Detached accessory buildings shall conform to the following additional regulations as to their location upon the parcel. (a) Where the slope of the front half of the lot is greater than one (1) foot rise or fall in a distance of seven (7) feet from the established street elevation at the property line, or where the elevation of the lot at the street line is five (5) feet or more above or below the established street elevation, a garage or carport, attached or detached, may be built to the front lot line. Such garage shall hold the side yard setbacks required for the main building and a maximum height specified for such carports and garages by the district, or when not specified by the district, a maximum height of 28 feet.

EASEMENTS OF RECORD:

None.

ENCROACHMENTS:

Cantilevered 1st floor deck encroaches seven feet into riparian buffer zone and is permitted to accommodate the minimum sized patio furniture seating for four people per industry design standards.

LANDSCAPING:

Limited to less than 534 sqft due to buffer zone.

PARKING SPACES:

2 covered, 1 uncovered

BUILDING HEIGHT:

Allowable: 36ft. vertically above natural grade Per Chapter 20, Sec 6300.2 (6) for lot slopes over 1.7. Lot slope is greater than 1.7.
Proposed: 29'-5" max building height above natural grade at ridge

GRADING: Combined Approx. Cut And Fill: 100 cy total grading.
Net Cut is 60 cy, and Fill is 40 cy. Ref. SigmaPrime sheet C-1.

CRAWL SPACES:

If the crawlspace does not have a "floor" it's not included in FAR.

ALL CONSTRUCTION SHALL CONFORM TO:

- 2022 CA RESIDENTIAL CODE
- 2022 CA BUILDING CODE
- 2022 CA PLUMBING CODE
- 2022 CA MECHANICAL CODE
- 2022 CA ELECTRICAL CODE
- 2022 CA FIRE CODE
- 2022 CA ENERGY CODE
- 2022 CA GREEN BUILDING CODE STANDARDS

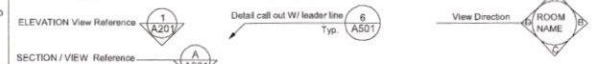
SHEET INDEX

PAGE	BASEL	TITLE
1	G010	COVER SHEET & PROJECT INFORMATION
2	G010.1	COLOR BOARD
3	G18.2	MASSING MODELS
4	G020	TOPO BOUNDARY AND BIOLOGICAL SURVEY
5	G020.1	OVERALL SITE BOUNDARY & TOPO MAP
6	G021	SEWER MAIN LOCATION/ANALYSIS
7	A100	SITE PLAN
8	A101	ADU FLOOR PLAN
9	A102	FIRST FLOOR PLAN
10	A103	SECOND FLOOR PLAN
11	A104	ROOF PLANS
12	A106	WINDOW SCHEDULES
13	A301	R/S ELEVATIONS
14	A302	W/F ELEVATIONS
15	A301	CROSS SECTIONS
16	L-100	LANDSCAPE PLAN

MISC. NOTES & CONSTRUCTION OPERATIONS.

- THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA AND PROTECTION TO THE RIPARIAN BUFFER ZONE.
- SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATIONS GREATER THAN 2,500 P.S.I. EPOXY HOLD-DOWNS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING AND FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED AND SIGNED SPECIAL INSPECTION FORM PRIOR TO PERMIT ISSUANCE.
- THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.
- INCLUDE HOUSE ADDRESS: NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TO THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS.
- GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT ALL TIME, OR REMOVE FROM SITE. G.C. TO VERIFY ANY HAZARDOUS MATERIALS HAVE BEEN REMOVED. G.C. TO VERIFY THAT THE SAN WATER LINE HAS A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.
- IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.
- A DEBRIS BIN IS TO BE LOCATED SOMEWHERE ON THE SITE. DEBRIS IS TO BE HAULED OFF-SITE AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED OF WEEKLY.
- THE APPLICANT/CONTRACTOR SHALL ENSURE THAT NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY. ON SAN CARLOS AVE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, OR IN LOCATIONS WHICH DO NOT IMPEDED SAFE ACCESS ON SAN CARLOS AVE. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT-OF-WAY.
- NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED. NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITIES SHALL NOT EXCEED THE 80 DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 AM TO 6 P.M., MONDAY THROUGH FRIDAY AND 9 A.M. TO 5 P.M. ON SATURDAYS. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAYS AND NATIONAL HOLIDAYS.
- WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.
- NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT / CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.
- PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF "ROADWAY MITIGATION FEES" BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3211.
- THE APPLICANT SHALL SUBMIT A PERMANENT STORM WATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY DRAINAGE POLICY, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.
- SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.
- NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

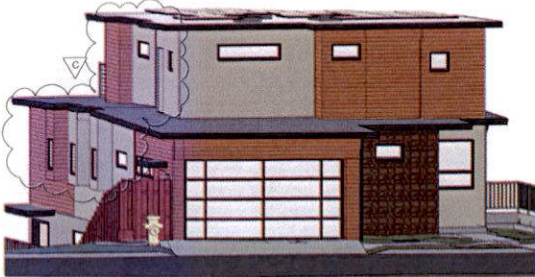
GENERAL SYMBOLS



AREA ANALYSIS. Calculated using CAD .shw polylines

Code	Description	Area (sq ft)
1	Grass	1,234.56
2	Asphalt	567.89
3	Concrete	345.67
4	Driveway	234.56
5	Garage	123.45
6	Other	98.76

- ABS = acrylonitrile-butadiene-styrene plastic pipe.
- AHJ = authority having jurisdiction
- Apr = appliance
- Apv = approximate
- ASTM = American Society for Testing and Materials
- AWG = American Wire Gauge
- B (vent) = double-walled round gas appliance flue
- BLK = building
- BM = bench mark
- BO = building official
- Btu = British thermal unit
- BUR = built-up roofing
- BW = double-walled oval gas appliance flue
- CPVC = chlorinated polyvinyl chloride plastic
- CSBT = corrugated stainless-steel tubing (gas pipe)
- Cu = copper
- CWV = combination waste and vent
- DFU = drainage fixture unit(s)
- dia = diameter
- DWV = drain, waste & vent
- (E) = Existing condition
- EGC = equipment grounding conductor
- EMT = electrical metallic tubing (thin wall electrical conduit)
- Eqpt = equipment
- Eq = Equal
- Est = estimator
- FF = Finished floor
- Fin = Finish
- Fl = Floor
- FMC = flexible metal conduit ("flex" or "Greenfield")
- Fdn = foundation
- FP = fireplace
- Gas = pipe or gauge
- Galv = galvanized
- GEN = grounding electrode conductor
- GPM = gallons per minute
- Grnd = Ground
- Hyd = Fire Hydrant
- IMC = intermediate metal conduit
- Kw = kilowatts
- L&L = listed & labeled
- LAVY = lavatory (bathroom sink)
- LFMC = liquid tight flexible metal conduit ("sealtight")
- LFNC = liquid tight flexible nonmetallic conduit
- Loc = located, location
- (N) = New Condition
- O.C. = on center
- PB = polybutylene plastic pipe
- PE = polyethylene plastic pipe
- Pending = likely to be adopted, check with local jurisdiction
- PEX = cross-linked polyethylene plastic pipe
- PL = property line
- PreFab = prefabricated
- PMI = per manufacturer, instructions
- PSI = pounds per square inch
- PVC = polyvinyl-chloride plastic, pipe or electrical conduit
- RI = Relocated Condition
- Recap = receptacle outlet (electrical)
- Rgmt = Requirements
- RMC = rigid metal conduit
- RNC = rigid nonmetallic conduit (PVC electrical conduit)
- SA = small appliance (branch circuit)
- Sch. = schedule of pipe, i.e. schedule 40 PVC
- SDC = Seismic Design Category
- SW = single-wall gas flue pipe
- SZ = seismic zone
- TOP = Top of finished floor
- TOP = Top of plate
- Typ = Typical
- UL = Underwriter's Laboratories, Inc.
- VA = volt amps (input power vs. output power-watts)
- W = electrical conductors rated for wet location
- WH = water heater
- WSFU = water supply fixture unit(s)



3 BDRM- 3 BATH WITH ATTACHED 1/1 ADU

DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
650 786-2463

STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

DATE	BY	DESCRIPTION
11/20/22	R.B.	POST #11/21/22 PERMIT
11/25/23	R.B.	POST #11/23/23 PERM

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

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COVER SHEET &
PROJECT
INFORMATION

SCALE: AS SHOWN

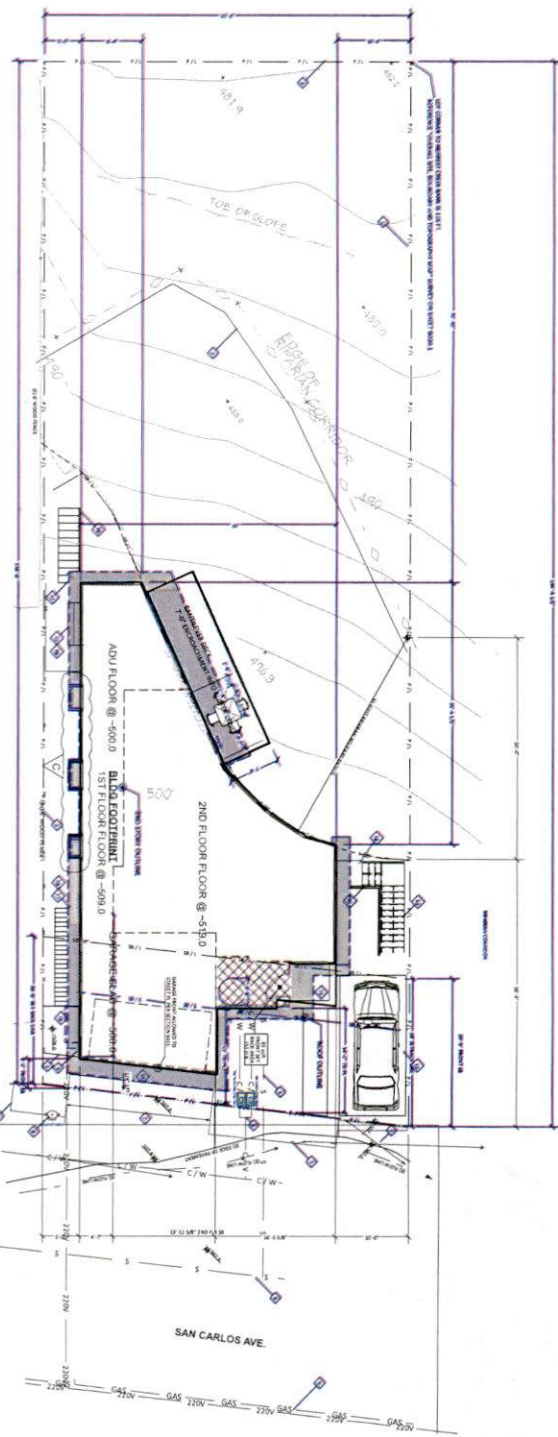
ISSUE: 12-14-2025

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. G010

SITE PLAN GENERAL NOTES:

1. INFORMATION FOR SPECIFICATIONS AND CONSTRUCTION DETAILS FOR COAST SIDE WATER DISTRICT WATER CONNECTIONS CAN BE OBTAINED AT <http://www.coastwater.org/cswd-forms.html>
2. INFORMATION FOR SPECIFICATIONS AND CONSTRUCTION DETAILS FOR POLE GAS AND ELECTRICAL CONNECTIONS CAN BE OBTAINED AT [http://www.pge.com/en_US/energy-services/energy-services/energy-services.html](http://www.pge.com/en_US/energy-services/energy-services/energy-services/energy-services.html)
3. ALL ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY.
4. LOCATION AND DISTANCES SHOWN FOR IN-STREET UTILITIES ARE AS INDICATED USING USDA MAPPED MARKINGS OR RECORDS TO THE SURVEYED PROPERTY LINES.
5. UNDERGROUND ELECTRICAL SERVICES SHALL BE PROVIDED IN ALL NEW CONSTRUCTION. UNDERGROUND SERVICE SHALL BE INSTALLED IN THE MOST RECENT EDITION OF PUE GREEN BOOK REQUIREMENTS PER MUNICIPAL CODE 14.04.070 (A).
6. CONDUIT UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME DIRT TRENCH, MINIMIZE THE AMOUNT OF REPAVED SURFACE TO BE COMPLETED AND TO BE STOOD UP AND PROTECT OVERLAPPED TORSION FOR REUSE.
7. SEWER CLEAN OUTS SHALL BE INSTALLED PER COUNTY REGULATIONS AND STANDARDS. CLEANOUTS IN BLDG SERVERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SIVER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATER TIGHT.
8. SANITARY EXCISETS SHALL BE LOCATED ON THE NORTH WEST END OF THE PROPERTY.
9. CLEAN-UP AREA SHALL BE LOCATED ON THE NORTH EAST END OF THE PROPERTY.
10. CONSTRUCTION MATERIALS AND STORAGE SHALL BE LOCATED ON THE NORTH SIDE OF THE PROPERTY.
11. SURFACE RUNOFF FROM ALL UPRISINGS GRADIENTS SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS.
12. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE OF ALL GRADED AND LANDSCAPE AREAS SET "DRAINING, MAINTAINING PROPER DRAINAGE PLAN" ON CIVIL SHEETS. SEE SEPARATE DRAWING OF A CIVIL ENGINEER FOR OFFICIAL DESIGN OF PROPOSED CONTROL AND DRAINAGE PLAN.
13. FAN/WATER EXHAUSTS (DOWNDRAFT) TO BE TO UNDERGROUND DRAIN. SEE DRAINAGE PLAN BY CIVIL ENGINEER ON CIVIL SHEETS.
14. MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SINKS 8" FROM SILL.
15. DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AWAY THERE IS NO PONDING PRIOR TO CONTRACTORS SHALL SUBMIT A DRAINAGE PLAN AND PROPOSE TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRAINAGE ACCESS TO THE PAVEMENT (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRAINAGE SLOPES (NOT EXCEPTED 20%) AND TO COUNTY STANDARDS FOR THE PROPERTY LINE) BEING THE SAME ELEVATION AS THE CENTER OF THE ACCESS ROADWAY.
16. WHICH APPROVED AS OBTAINING OF THE DEPT. OF PUBLIC WORKS, THIS TYPICAL AND PROTECT SHALL BE PREPARED FROM IMPROVEMENT PLANS, THE DRIVEWAY PAVEMENT SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.
17. APPROXIMATE CUT & FILL BASED ON AVERAGE SECTION AREA THATS WITHIN EACH SECTION. SEE CIVIL SHEETS FOR REFERENCE ELEVATIONS AND SECTION SHEETS.



1 SITE PLAN
Scale: 1/8" = 1'-0"

COASTSIDE FIRE PROTECTION DISTRICT NOTES:

1. ADDRESS NUMBERS: PER THE CPDUC 2016-01, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED AND VISIBLE FROM THE STREET. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO CONSTRUCTION BEING PLACED ON-SITE. THE LETTERS/NUMBERS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE. SUCH LETTERS/NUMBERS SHALL BE INTERNAL TO THE UNPAVED AND FINISHED SIDEWALK OR TO THE BOTTOM OF ADDRESS LIGHT UNIT GREEN REFLECTIVE MOUNTING WITH 1 INCH REFLECTIVE NUMBERS/LETTERS SHALL BE PLACED ON THE SIDEWALK FROM THE DRIVEWAY FROM THE PUBLIC ROADWAY. SEE CPDUC FOR STANDARD SIGN.
2. ROOF COVERING: PER THE CPDUC 2016-01, THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
3. VEGETATION MANAGEMENT: PER THE CPDUC 2016-01, THE 2016 CALIFORNIA FIRE CODE (CFC) AND THE PUBLIC RESOURCES CODE (PRC) 4291:
 - A. A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN THE STATE RESPONSIBLE AREAS(SHA), THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.
 - B. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PLANTED TO REMOVE DEAD AND Dying BRANCHES AND LIMBS UP TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
 - C. REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.
4. FIRE PROTECTANT: PER THE 2016 CFC, APPROVEDS B AND C. A FIRE DISTRICT APPROVED FIRE PROTECTANT (GALV 400) MUST BE LOCATED WITHIN 600 FEET OF THE PROPOSED SINGLE FAMILY DWELLING UNIT MEASURED BY W/O OF DRIVEABLE ACCESS. PER THE 2016 CFC, APPROVED B, THE PROTECTANT MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING TYPICAL COATING, PAINT SIZE, AND THE FLOW REPORT AT THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO THE FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE THE COMPLETION OF THE PROJECT ON-SITE.
5. AUTOMATIC FIRE SPRINKLER SYSTEMS AS PER SAN CARLOS COUNTY BUILDING STANDARDS AND CPDUC ORDINANCE 2016-01, THE APPLICANT IS REQUIRED TO INSTALL AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA 1363 PROTECTANT OR APPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS DOORS AND WINDOWS IN ATTIC AREAS SHALL BE PROTECTED WITH APPROVED FIRE RESISTANT DOORS AND WINDOWS. THE ONLY EXCEPTION IS SMALL LIGHT FIXTURES LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHIELDING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN CARLOS COUNTY PLANNING AND BUILDING DEPARTMENT A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED, AND APPROVED. THE SUBMISSION OF THE PLANS, THE COUNTY WILL FORWARD COMPLETE SET TO THE COASTSIDE FIRE PROTECTION DISTRICT FOR REVIEW. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.
7. EXTENSION BELL AND UTILITY HORNS/STROBE ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.
8. ADD NOTE TO THE TITLE PAGE THAT THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
9. ALL FIRE CONDITIONS AND REQUIREMENTS MUST BE INCORPORATED INTO YOUR BUILDING PLANS PRIOR TO BUILDING PERMIT ISSUANCE.

COASTSIDE COUNTY WATER DISTRICT

1. THE PROJECT WILL BE REQUIRED TO COMPLY WITH COASTSIDE COUNTY WATER DISTRICT'S (DISTRICT) INDOOR WATER USE EFFICIENCY ORDINANCE WHICH INCLUDES REGULATIONS ON WATER METERING AND WATER USE EFFICIENCY SPECIFICATIONS FOR PLUMBING FIXTURES AND APPLIANCES. THE DISTRICT WILL PERFORM INSPECTIONS TO VERIFY COMPLIANCE WITH ALL DISTRICT REGULATIONS DURING AND AFTER CONSTRUCTION.
2. NON PRESSURE PIPING SYSTEMS ARE TO BE INSTALLED ON THE FIRE PROTECTION SERVICES. FIRE PROTECTION SERVICES ARE AUTHORIZED FOR THE SOLE PURPOSE OF FIRE PROTECTION. THERE SHALL BE NO CROSS CONNECTIONS, AND APPROVED BACKFLOW PROTECTION IS REQUIRED.
3. BEFORE ISSUANCE OF A BUILDING PERMIT, THE DISTRICT WILL NEED TO EVALUATE A COMPLETE SET OF BUILDING PLANS TO DETERMINE IF THE WATER SERVICE CAPABILITY AVAILABILITY IS ADEQUATE FOR THIS DEVELOPMENT AND COMPLEY WITH ALL DISTRICT REGULATIONS.

SITE PLAN KEY NOTES

1. INSTALL NEW 8 FOOT TALL BEAR FENCING WITH 6"x6" STEEL WIRE MESH BETWEEN POSTS AT 8 FOOT CENTERS ALONG THE RIGHT PROPERTY LINE AND FRONT BOUNDARY.
2. INSTALL A NEW REDWOOD OGDON-NEIGHBOR FENCE WITH A MAXIMUM 6 FT HEIGHT AT THE REAR AND LEFT PROPERTY LINES W/AGATE.
3. (N) SIDEWALK PER SMC DESIGN STANDARDS.
4. (N) NEW LATERAL W/ C.C. PER SMC ENDS. DETAILS WITHIN SET OF PL.
5. TWO NEW DEDICATED WATER METERS WILL BE REQUIRED. ONE FOR DOMESTIC CONSUMPTION AND ONE FOR DEDICATED FIRE SPRINKLER SYSTEM FIRE SERVICE AND WATER AND COMBUSTIBLE LIQUID FUEL. METERS SHALL SHOW COASTSIDE WATER DISTRICT STANDARDS CC-06 AND CC-18 AS APPLICABLE.
6. (E) WATER, SEWER, ELECT. IN STREET PER U.S.A. MARKINGS.
7. (N) COUNTY STANDARD ASPHALT DRIVEWAY APPROACH W/ DRAINAGE SWALE WITH A MIN. OF 7" ASPHALT CONCRETE OVER 6" CLASS 2 AGGREGATE BASE W/ A SLOTT SWALE FOR BOTH DRIVEWAYS.
8. (E) CLAW 960 HYDRAVIT.
9. (N) 240 VAC POWER TO METER PANEL.
10. BE SERVED.
11. RETAINING WALL WITH 42" RAILING ABOVE GRADE WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART.
12. REMOVE STAIRWELL WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART.
13. QUADTER 1.3, SEC. 6119 9'X19' ADU PARKING SPACE @ -507.0
14. (N) CONC. DRIVE WITH 5% PER FOOT SLOPE AWAY.
15. CONC. STEPS AT ENTRANCE WITH EQUAL RISE TO GRADE.
16. CONC. SLAB GARAGE CAN STORAGE AREA WITH SLAB APPROXIMATELY @ -508.0 EVEN WITH GARAGE SLAB.
17. ROAD RISE THE STEPS.
18. FOR EXISTING CONTOURS, NEW GRADES, AND GRADING - REF. CIVIL PLANS.

SCALE: AS SHOWN

ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO.: A100

SHEET TITLE: 779 SAN CARLOS AVE EL GRANADA, CALIFORNIA NEW RESIDENCE

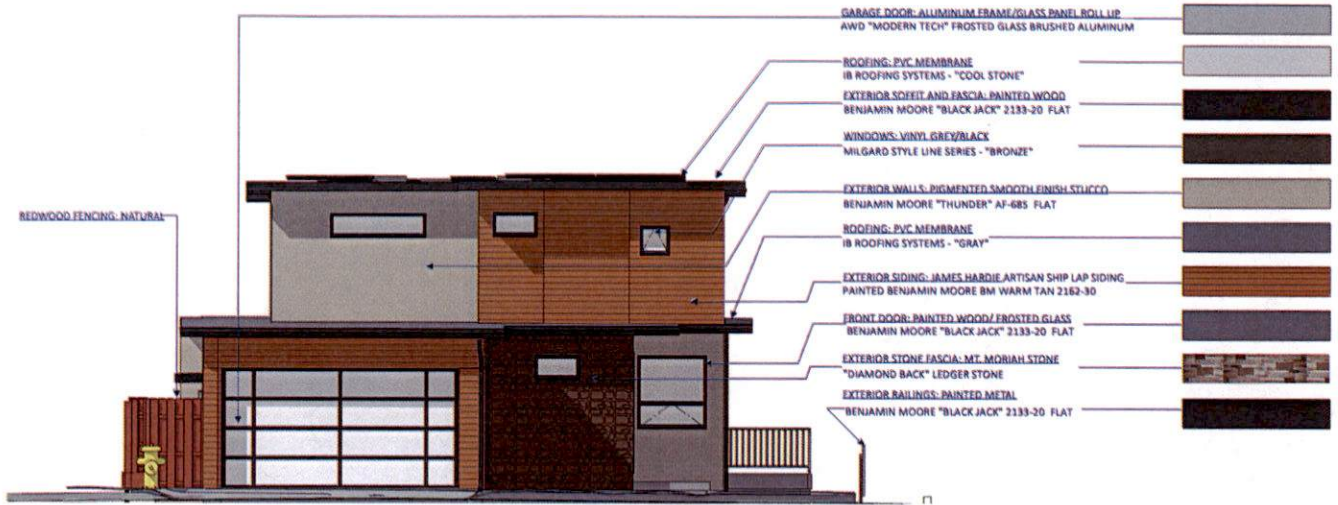
DESIGNER: ROD LACASIA-BARRIOS
SAN CARLOS, CA
650 786-2463

STRUCTURAL ENGINEER: TBO

REVISION	DATE	BY	DESC
A	11/28/22	RLB	ISSUE COMMENTS #1
B	11/28/22	RLB	POSY #11222 CORR
C	11/28/23	RLB	POSY 11223 CORR

ENGINEER CALCULATED: TBO

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SAMPLE PRIMARY BUILDING ELEVATION - MATERIALS BOARD - 779 SAN CARLOS AVE, EL GRANADA RE-CONSTRUCTION, 4 EL SERENO DR. SAN CARLOS, 650-766-2463



DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
650 766-2463

STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

REVISION	
DATE	BY
11/14/22	SB
11/14/22	SB
11/14/22	SB
11/14/22	SB

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

COLOR BOARD

SCALE: AS SHOWN

ISSUE: 11.14.2021

DESIGNED BY: ROD LACASIA-BARRIOS

SHEET NO. G010.1

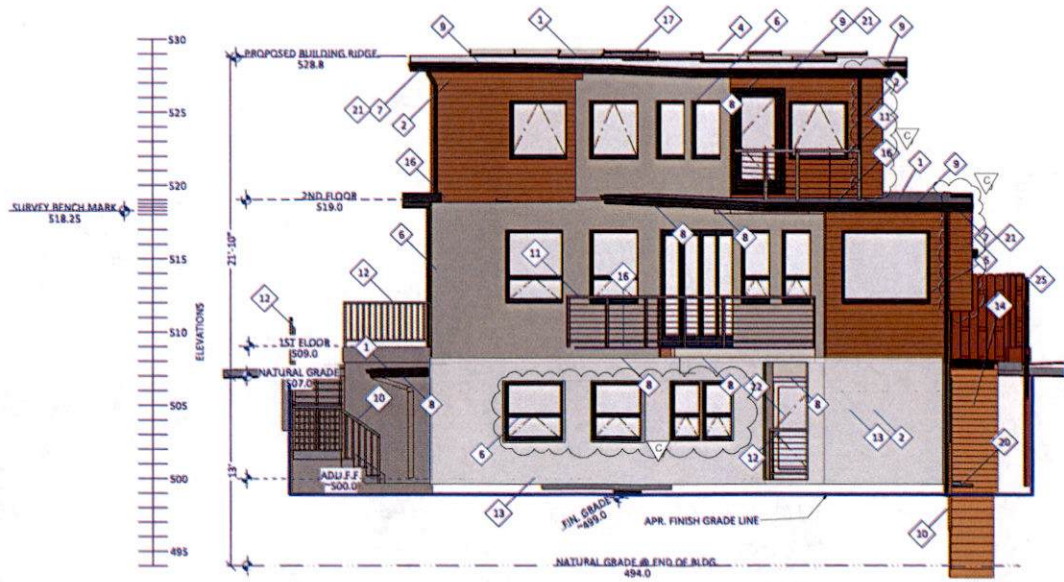
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EXTERIOR ELEVATIONS FINISH SCHEDULE

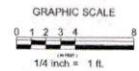
- 1 50 mil IB SYSTEMS PVC Single Ply Class "A" Roof System, GREY LOWER WHITE UPPER, REF ROOF PLAN.
- 2 7/8" STUCCO OVER LATH WITH DOUBLED "D" PAPER OVER 1/2" SHEATHING.
- 3 TEMPERED GLASS 8FT X16FT GARAGE DOOR.
- 4 SOLAR PANEL ARRAY FOR APPROXIMATE NET ZERO.
- 5 SQUARE EDGE, 1"X6" JAMESHARDIE SIDING OVER TYVEK AND 1/2" SHEATHING.
- 6 MILGARD DARK VINYL WINDOWS, CLEAR VIEW SERIES, TYP.
- 7 SOFFITED EAVES WITH LINEAR VENTS, TYP.
- 8 UNDER SOFFIT RECESSED "DARK SKY" LED LIGHTING, TYP AT ALL EXTERIOR.
- 9 5 1/4" GALV. GUTTER AND DOWNSPOUTS CONNECTED TO ON SITE DRY WELL FOR DRAINAGE CONTROL.
- 10 3/8" REDWOOD STAIRS/RAILINGS WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART, 36" MIN CLR WIDTH.
- 11 42" TALL GUARD RAIL WITH STAINLESS STEEL CABLING AND POSTS, WITH MAX. 4" CABLE SEPARATION.
- 12 42" REDWOOD RAILINGS WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART.
- 13 SHADING USED TO ISOLATE AND INDICATE ADU STRUCTURE.
- 14 RAIL ROAD TIE STEPS, 36" MIN CLR WIDTH.
- 15 MT. MORIAH 1" NOMINAL STONE VENEER - DIAMOND BACK PATTERN INSTALLED P.M.I.
- 16 60 mil IB SYSTEMS PVC Single Ply Class "A" DECK System, REF ROOF PLAN.
- 17 SKYLIGHT WITH 6" CURB.
- 18 (N) ELECTRIC METER
- 19 TBD
- 20 CONC STEPS WITH EQ. RISE
- 21 2X12 FASCIA BOARD
- 22 TEMPERED GLASS
- 23 CLAW 960 FH
- 24 TBD
- 25 (N) REDWOOD FENCING TO MATCH (F)



2 FRONT ELEVATION (NE)
scale 1/4" = 1'-0"



1 REAR ELEVATION (SW)
scale 1/4" = 1'-0"



DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
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STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

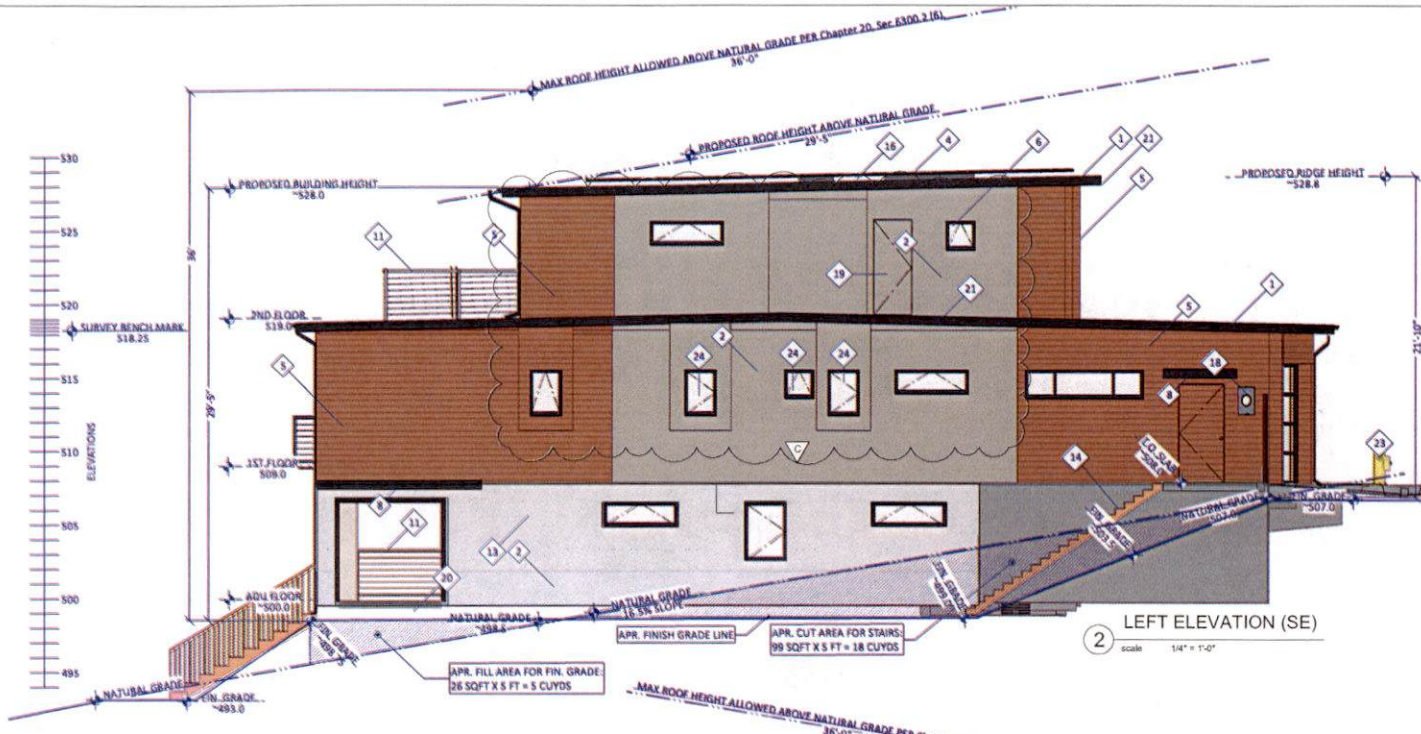
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2	11/02/23	RLB	POST #111922 CORRC
3	11/02/23	RLB	POST #112023 CORRC

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

N / S ELEVATIONS

SHEET TITLE
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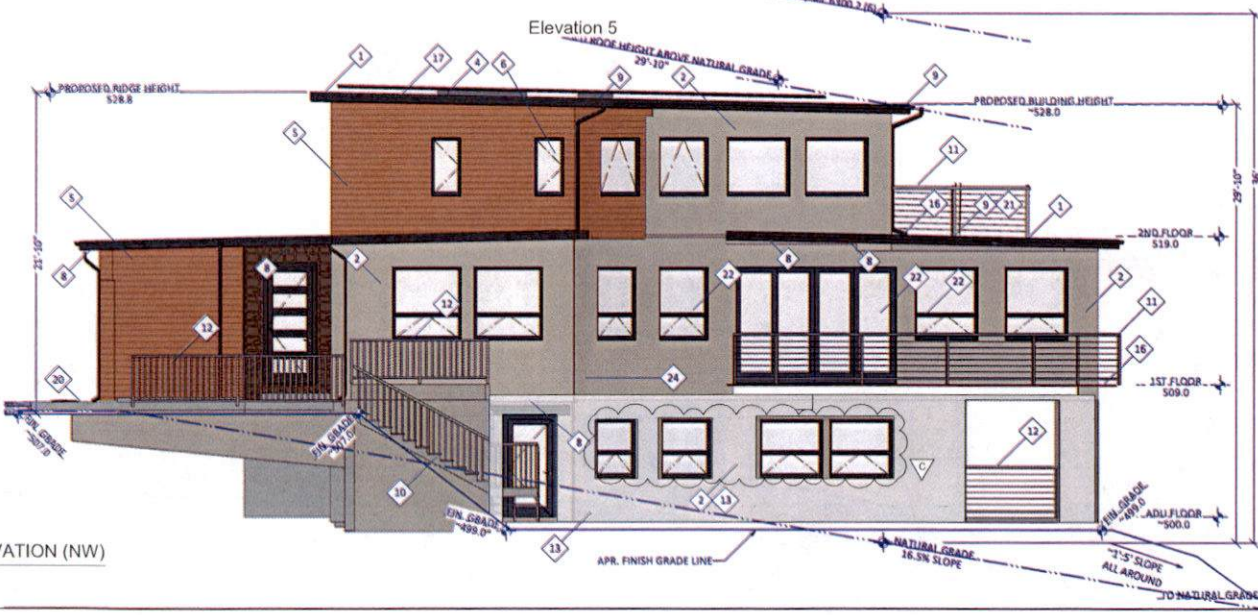
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DATE:	DRAWN BY: ROD LACASIA-BARRIOS
DESIGNED BY:	CHECKED BY:
SHEET NO. A201	



2 LEFT ELEVATION (SE)
scale 1/4" = 1'-0"

EXTERIOR ELEVATIONS FINISH SCHEDULE

- 1 50 MIL IB SYSTEMS PVC SINGLE PLY CLASS "A" ROOF SYSTEM, GREY LOWER WHITE UPPER,, REF ROOF PLAN.
- 2 7/8" STUCCO OVER LATH WITH DOUBLED "D" PAPER OVER 1/2" SHEATHING.
- 3 TEMPERED GLASS 8FT X16FT GARAGE DOOR.
- 4 SOLAR PANEL ARRAY FOR APPROXIMATE NET ZERO SIZING.
- 5 SQUARE EDGE, 1"X6" JAMESHARDIE SIDING OVER TYVEK AND 1/2" SHEATHING.
- 6 MILGARD DARK VINYL WINDOWS, CLEAR VIEW SERIES, TYP.
- 7 SOFFITED EAVES WITH LINEAR VENTS, TYP.
- 8 UNDER SOFFIT RECESSED "DARK SKY" LED LIGHTING, TYP AT ALL EXTERIOR.
- 9 5 1/4" GALV. GUTTER AND DOWNSPOUTS CONNECTED TO ON SITE DRY WELL FOR DRAINAGE CONTROL.
- 10 36" REDWOOD STAIRS/RAILINGS WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART, 36" MIN CLR WIDTH.
- 11 42" TALL GUARD RAIL WITH STAINLESS STEEL CABLING AND POSTS, WITH MAX. 4" CABLE SEPARATION.
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- 15 MT. MORIAH 1" NOMINAL STONE VENEER - DIAMOND BACK PATTERN INSTALLED P.M.I.
- 16 60 MIL IB SYSTEMS PVC SINGLE PLY CLASS "A" DECK SYSTEM, REF ROOF PLAN.
- 17 SKYLIGHT WITH 6" CURB.
- 18 (N) ELECTRIC METER
- 19 DOOR FOR MECH ROOM
- 20 CONC STEPS WITH EQ. RISE
- 21 2X12 FASCIA BOARD
- 22 TEMPERED GLASS
- 23 CLAW 960 FH
- 24 OBSCURE GLASS
- 25 (N) REDWOOD FENCING TO MATCH (E)



1 RIGHT ELEVATION (NW)
scale 1/4" = 1'-0"

DESIGNER:
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SAN CARLOS, CA
650 786-2463

STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

REVISION	DATE	BY	DESC.
1	12-14-2021	RLB	ISSUE FOR PERMITTING
2	11-22-2021	RLB	POST RFP FOR PERMITTING
3	11-25-21	RLB	POST RFP FOR PERMITTING

**779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE**

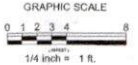
WE ELEVATIONS

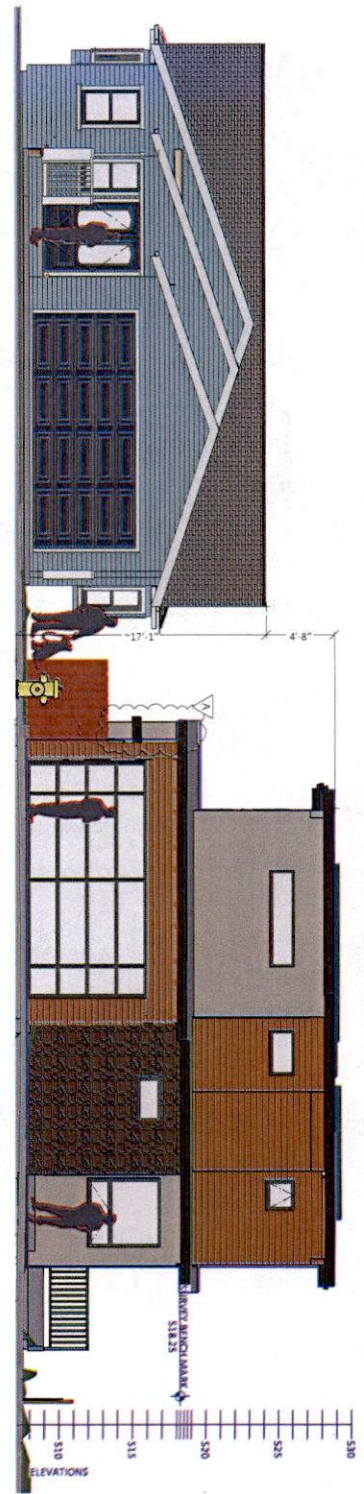
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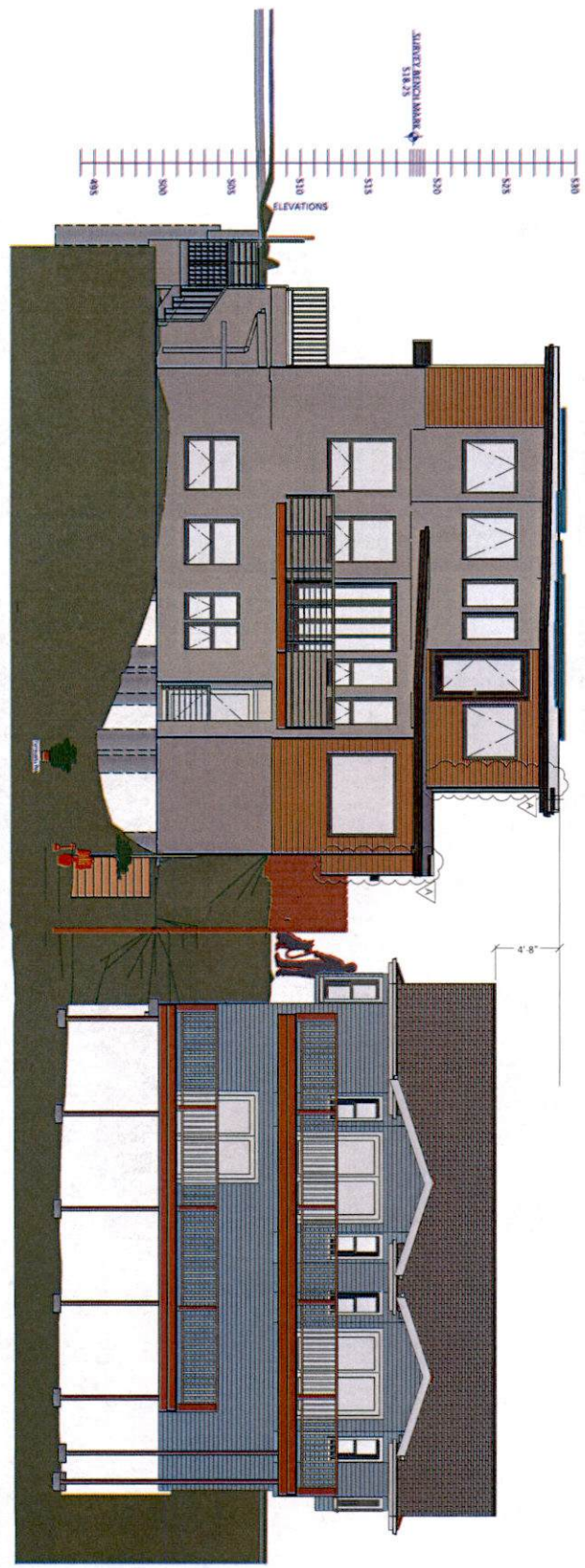
SCALE: AS SHOWN

DATE: 12-14-2021
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SHEET NO. **A202**

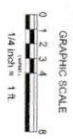




3 FRONT ELEVATION MASSING WITH NEIGHBORING HOUSE



4 REAR ELEVATION MASSING WITH NEIGHBORING HOUSE



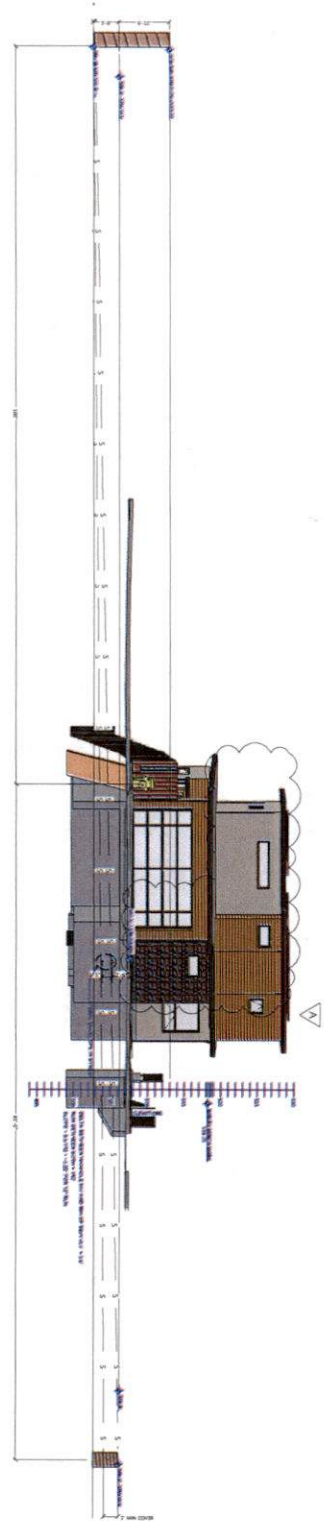
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 ISSUE DATE: 11/20/2022
 DRAWN BY: ROD LACASIA-BARRIOS
 SHEET NO.: G10.2

SHEET TITLE
MASSING MODELS
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 EL GRANADA, CALIFORNIA
 NEW RESIDENCE

REVISION	
DATE	BY
11/20/21	RLB
11/20/21	POST
11/20/21	CRUC

DESIGNER:
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 EL GRANADA, CA
 95026-2948
 (916) 796-2948
 STRUCTURAL ENGINEER:
 TMD



1 SURVEYED SEWER PROFILE IN STREET
Scale: 1" = 8'-0"



SCALE: AS SHOWN

ISSUE DATE: 12-14-2022

DRAWN BY: ROD LACASA-BARRIOS

SHEET NO.: G021

SHEET TITLE

SEWER MAIN LOCATION/ANALISYS

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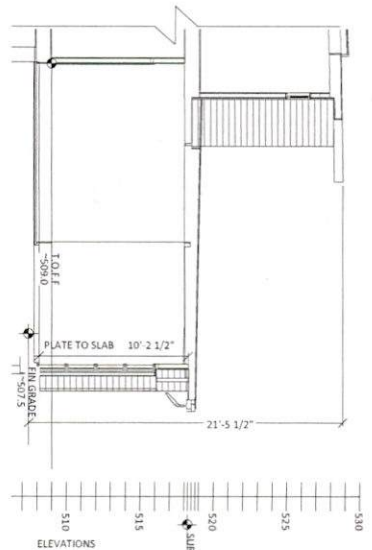
779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

REVISION			
LABEL	DATE	BY	DESC.
A	11/20/22	RLB	POST 8/11/22 CCRC

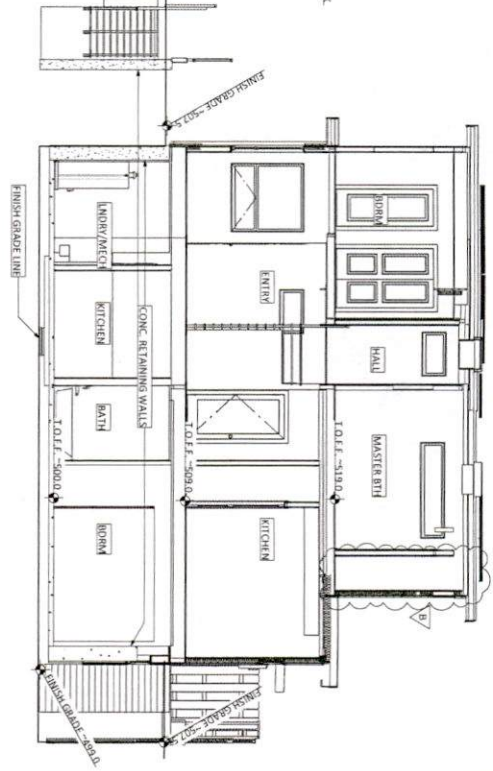
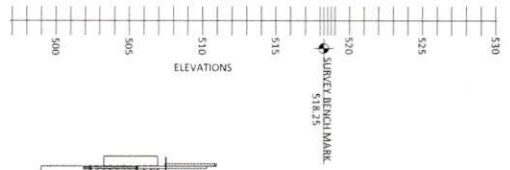
DESIGNER:
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3440 CALIF. ST. CA
650 786-2463

STRUCTURAL ENGINEER:
TBD

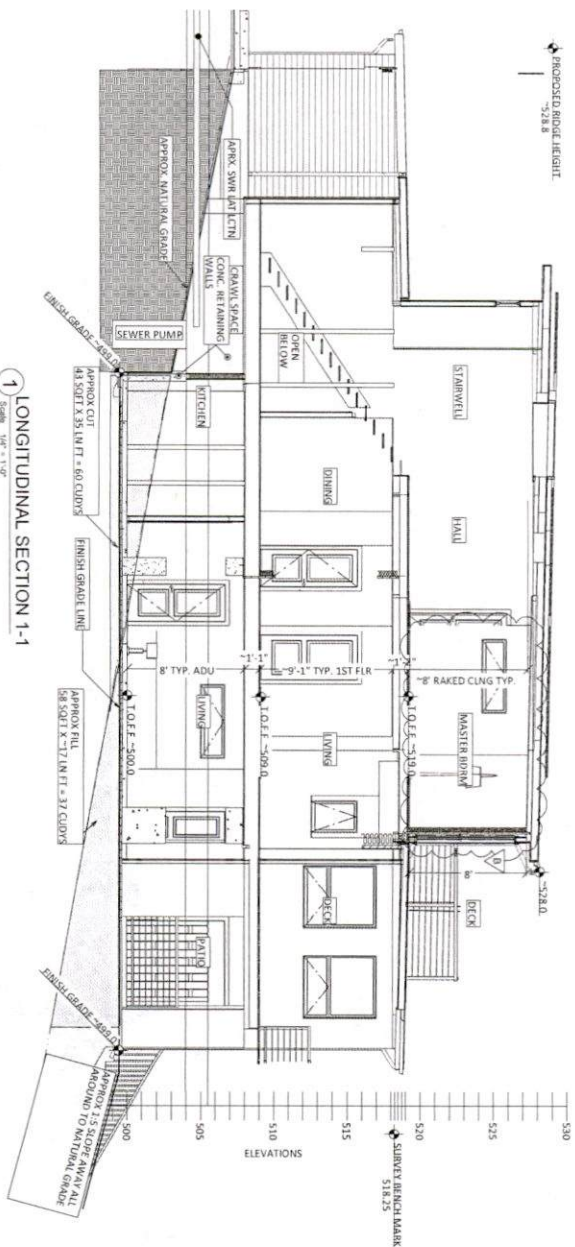
ENERGY CALC'S:
TBD



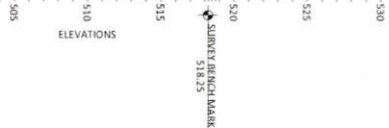
2 CROSS SECTION 3-3
Scale: 1/4" = 1'-0"



2 CROSS SECTION 2-2
Scale: 1/4" = 1'-0"



1 LONGITUDINAL SECTION 1-1
Scale: 1/4" = 1'-0"



SCALE: AS SHOWN
ISSUE DATE: 12-14-2021
DRAWN BY: ROD LACASIA-BARRIOS
SHEET NO.: A301

SHEET TITLE
CROSS SECTIONS
ALL INFORMATION IS COPYRIGHTED 2021

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

REVISION	
DATE	BY / DESC.
1/12/22	RLB POST 8/11/22 RDR
1/15/23	RLB POST 1/12/23 CORC

DESIGNER:
ROD LACASIA-BARRIOS
SAN CARLOS, CA
850 798-9483
STRUCTURAL ENGINEER:
TBD
ENGINEER/ARCHITECT:
TBD

DESIGNER:
ROD LACASIA-BARRIOS
4 EL BERENDO DR.
SAN CARLOS, CA
650 768-2463

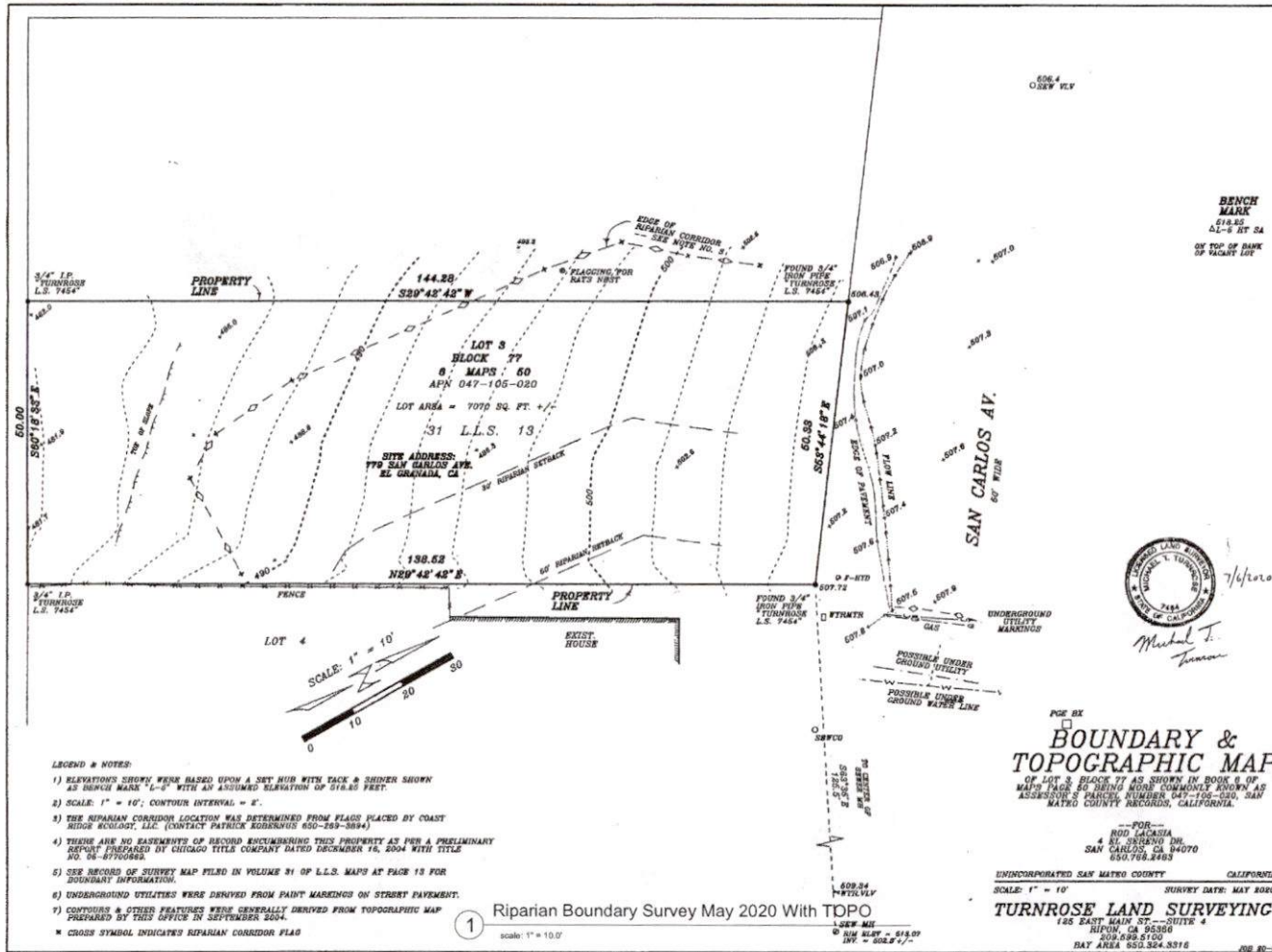
STRUCTURAL ENGINEER:
TBD

ENERGY CALCS.
TBD

REVISION	DATE	BY	DESC

779 SAN CARLOS AVE.
EL GRANADA, CALIFORNIA
NEW RESIDENCE

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LEGEND & NOTES

- ELEVATIONS SHOWN WERE BASED UPON A SET BUSH WITH TACK & SOUNDER SHOWN AS BENCH MARK "L-1" WITH AN ASSUMED ELEVATION OF 516.65 FEET.
 - SCALE: 1" = 10'; CONTOUR INTERVAL = 2'.
 - THE RIPARIAN CORRIDOR LOCATION WAS DETERMINED FROM FLAGS PLACED BY COAST RIDGE ECOLOGY, LLC (CONTACT PATRICK ROBERGUS 650-289-3894).
 - THERE ARE NO ELEVATIONS OF RECORD DETERMINING THIS PROPERTY AS PER A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY DATED DECEMBER 16, 2004 WITH TITLE NO. 06-87700869.
 - SEE RECORD OF SURVEY MAP FILED IN VOLUME 31 OF L.L.S. MAPS AT PAGE 13 FOR ADDITIONAL INFORMATION.
 - UNDERGROUND UTILITIES WERE DERIVED FROM PAINT MARKINGS ON STREET PAVEMENT.
 - CONTOURS & OTHER FEATURES WERE GENERALLY DERIVED FROM TOPOGRAPHIC MAP PREPARED BY THIS OFFICE IN SEPTEMBER 2004.
- * CROSS SYMBOL INDICATES RIPARIAN CORRIDOR FLAG

1 Riparian Boundary Survey May 2020 With TOPO

scale: 1" = 10.0'

FOR BK
BOUNDARY & TOPOGRAPHIC MAP
OF LOT 3, BLOCK 77 AS SHOWN IN BOOK 6 OF MAPS PAGE 13 BEING BOOK COMMONLY KNOWN AS ASSESSOR'S PARCEL NUMBER 047-100-230, SAN MATEO COUNTY, CALIFORNIA.
—FOR—
ROD LACASIA
4 EL BERENDO DR.
SAN CARLOS, CA 94070
650.768.2463
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10'
SURVEY DATE: MAY 2020
TURNROSE LAND SURVEYING
135 EAST MAIN ST., SUITE 4
SUNON, CA 94060
925.888.5100
RAY AREA 952.324.3316
SHEET NO. 29

SCALE: AS SHOWN

TITLE: 13-14-2021

DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

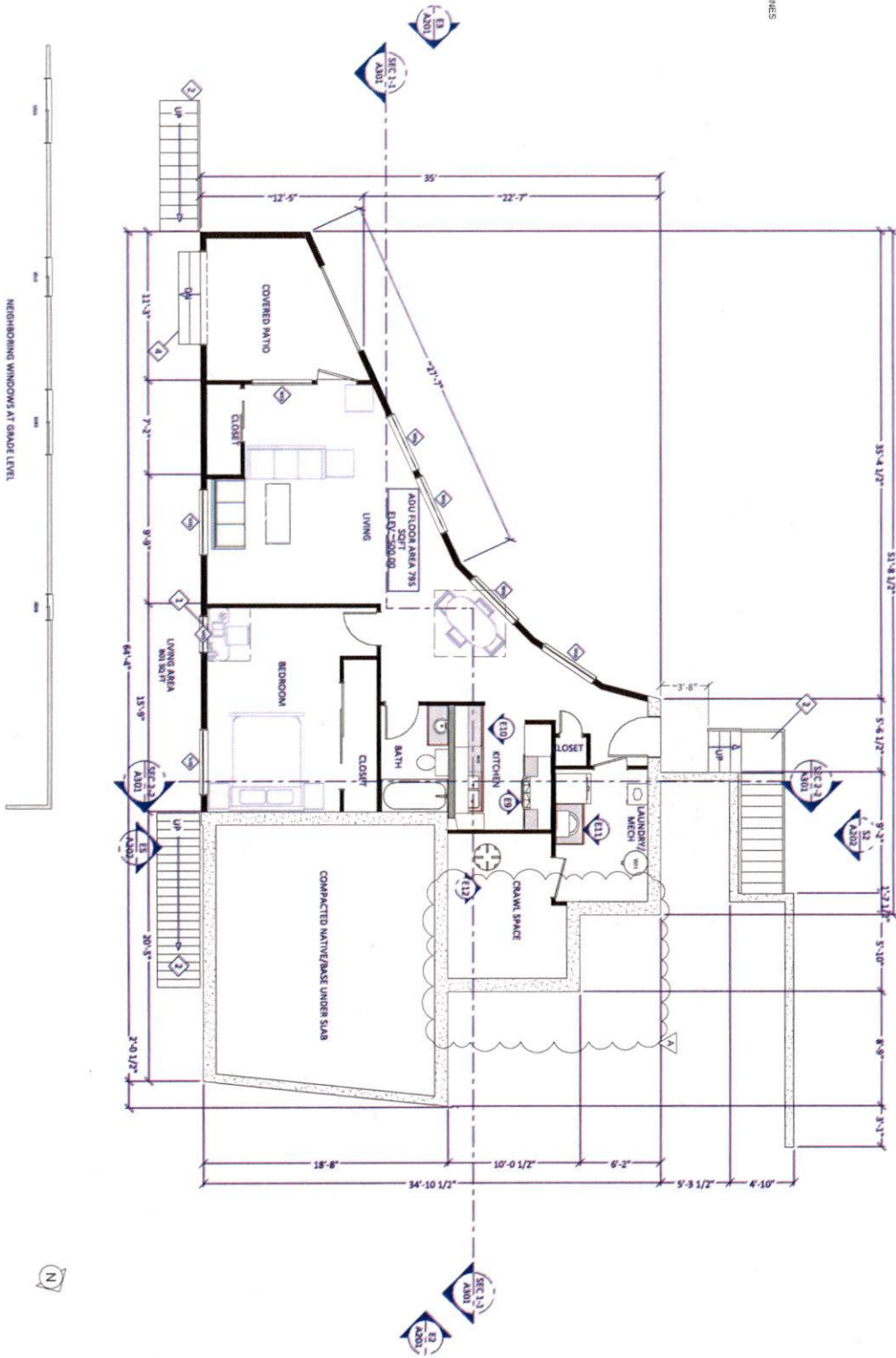
SHEET NO. G020

SHEET TITLE
TOPO, BOUNDARY AND BIOLOGICAL SURVEY

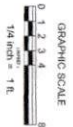
GENERAL CONDITIONS:

1. THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HAND REACHED AND OPERATED BY THE OCCUPANTS. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING AREA AND IN EACH UNOCCUPIED SLEEPING AREA IN EXISTING SLEEPING ROOMS. AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL INSPECTION.
2. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. 5.0 SQ. FT. IS ALLOWED AT GRADE. THE MINIMUM NET CLEAR HEIGHT SHALL BE NOT MORE THAN 48 INCHES ABOVE THE FINISHED FLOOR. IDENTIFY RESCUE WINDOWS IN EACH ROOM AND VENT THEM TO THE EXTERIOR. ALL REQUIREMENTS SHALL BE INCLUDED IN BUILDING PLANS.
3. OCCUPANCY SEPARATION PER THE 2019 CBC, SECTION 406.1.4, A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE 2 1/2" MIN. THICK. SELF-CLOSING DOOR ASSEMBLY WITH SMOKE DAMPERS BETWEEN THE GARAGE AND THE ADU. THE GARAGE SHALL BE SEPARATED FROM THE ADU BY A ONE-HOUR OCCUPANCY SEPARATION WALL. THE APPLICATION STAGE SHALL INCLUDE LISTING AND CONSTRUCTION DETAIL S. INSPECTIONS WILL OCCUR THROUGHOUT CONSTRUCTION AND PRIOR TO THE FINAL APPROVAL.

- REVEALER PLAN NOTES:**
1. EGRESS WINDOW.
 2. 36" MIN. CLR. WIDTH
 3. AREAS CALCULATED USING CAD SW FOOTPRINTS
 4. CONCRETE STEPS



1 ADU Grade Level Floor Plan (795 sqft)



SCALE: AS SHOWN

ISSUE: 12-14-2021

DATE:

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. A101

SHEET TITLE

ADU FLOOR PLAN

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779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

REVISION		BY	DESC.
DATE	BY	DESC.	
11/20/22	RLE	POST	811/22 CORC

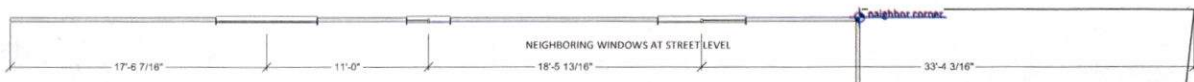
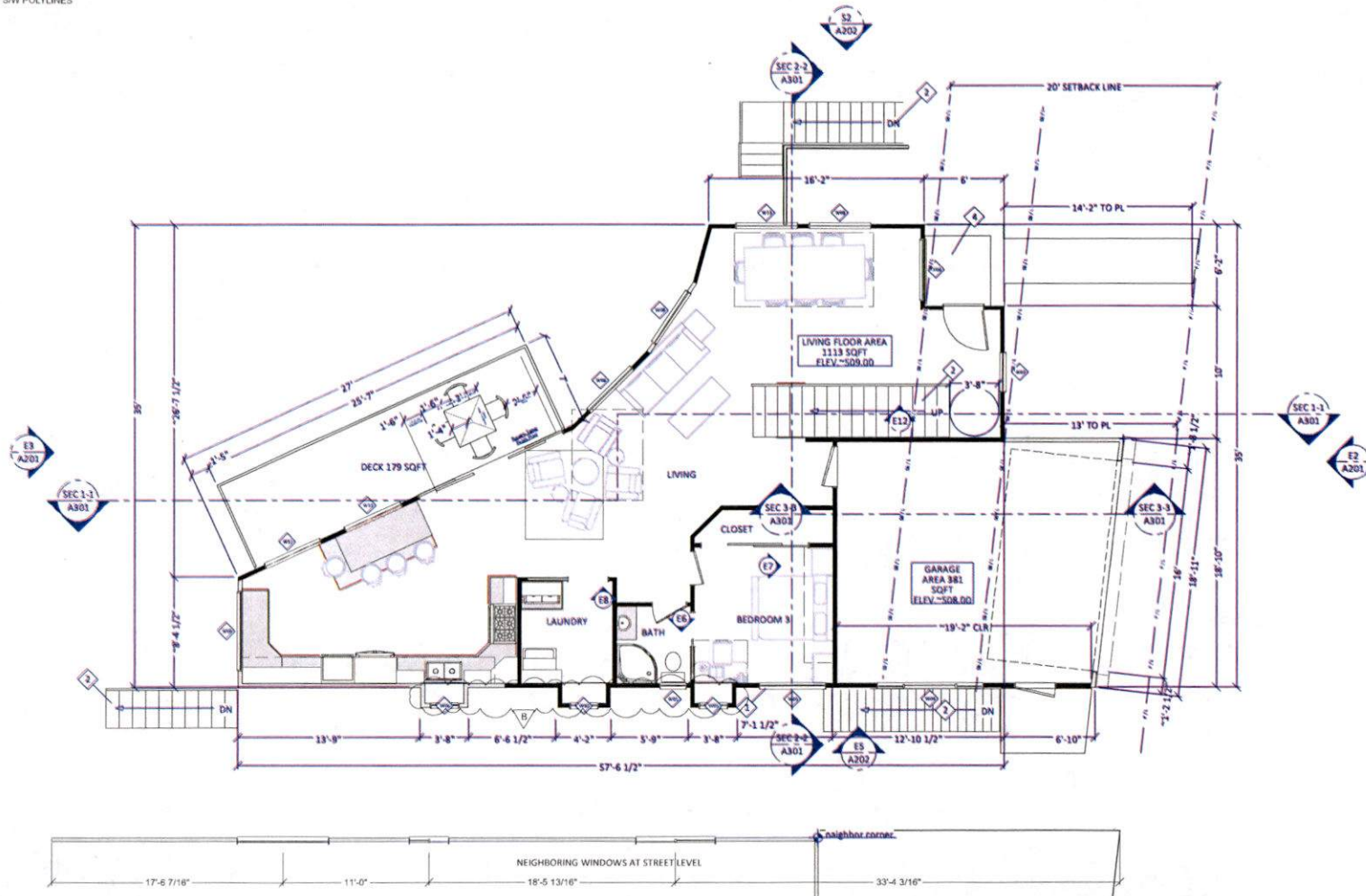
DESIGNER:
ROD LACASIA-BARRIOS
5601 EL GRANADA AVE
EL GRANADA, CA
95026-2483
PH: 925-284-8833

STRUCTURAL ENGINEER:
TBD

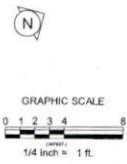
ENGINEER CALIF.:
TBD

KEY FLOOR PLAN NOTES:

- 1 EGRESS WINDOW.
- 2 36" MIN. CLR. WIDTH
- 3 AREAS CALCULATED USING CAD S/W POLYLINES
- 4 CONCRETE STEPS



1 Street Level Floor Plan (1113 sqft)
 scale 1/4" = 1'-0"



DESIGNER:
 ROD LACASIA-BARRIOS
 4 EL SERENO DR.
 SAN CARLOS, CA
 650 786-2463

STRUCTURAL ENGINEER:
 TBD

ENERGY CALCS:
 TBD

REVISION	DATE	BY	CHK
1	11/02/2021	RLB	PLS
2	11/15/2021	RLB	PLS
3	11/15/2021	RLB	PLS

779 SAN CARLOS AVE
 EL GRANADA, CALIFORNIA
 NEW RESIDENCE

FIRST FLOOR PLAN

SHEET TITLE

SCALE: AS SHOWN

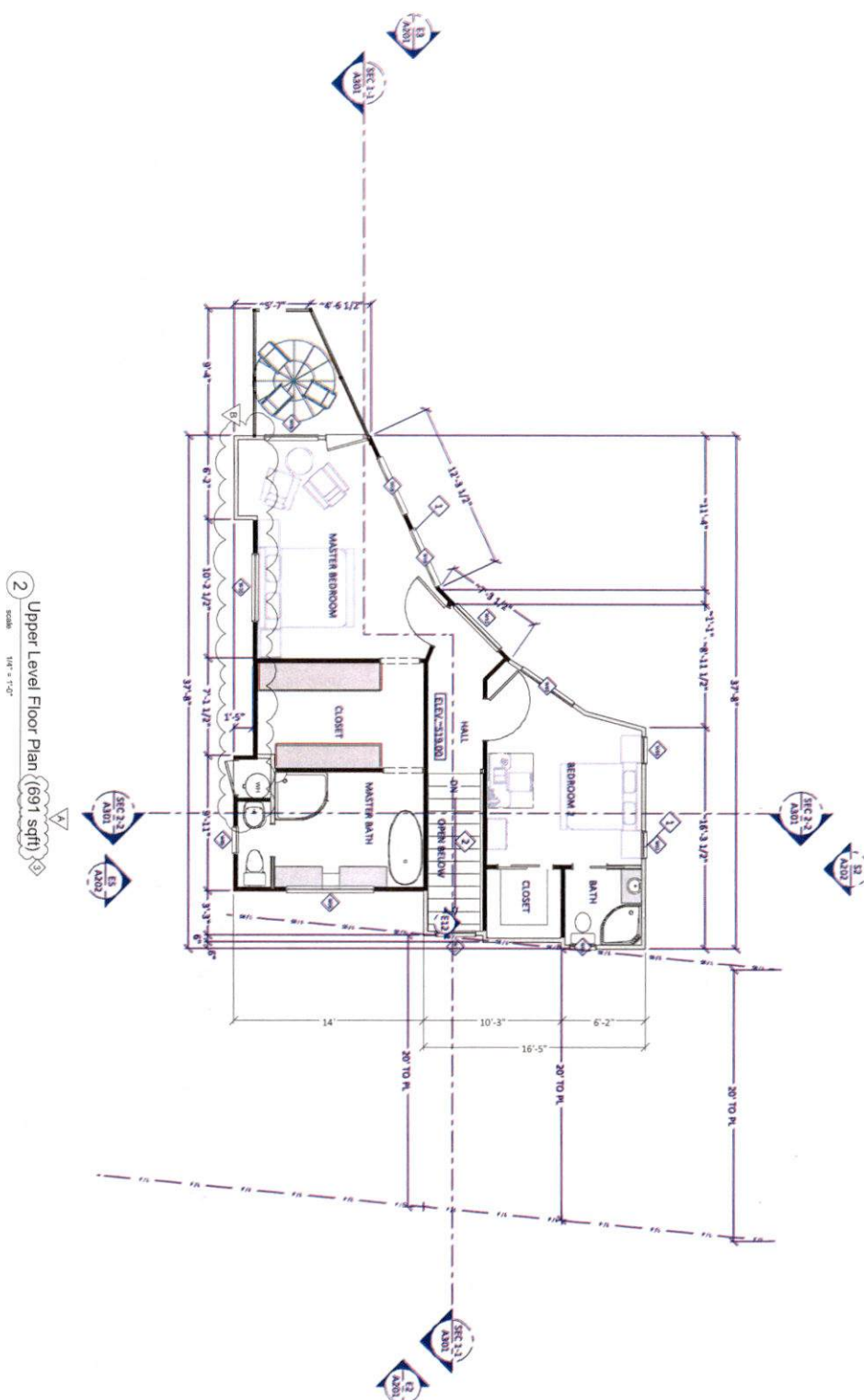
ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

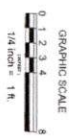
SHEET NO. A102

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- KEY TO COR PLAN NOTES:**
- 1 EGRESS WINDOW,
 - 2 36" MIN. CLR. WIDTH
 - 3 AREAS CALCULATED USING CAD SW POLYLINES
 - 4 CONCRETE STEPS



2 Upper Level Floor Plan (691 sqft)



SCALE: AS SHOWN

ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. A103

SHEET TITLE

SECOND FLOOR PLAN

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779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

REVISION			
LABEL	DATE	BY	DESC
A	12/29/21	R.L.B.	POST 01/15/22 CORR
B	11/22/21	R.L.B.	POST 12/23/21 CORR

DESIGNER:
ROD LACASIA-BARRIOS
5545 SAN CARLOS, CA
950 786-2463

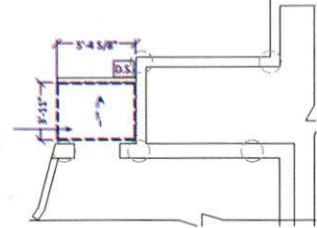
STRUCTURAL ENGINEER:
TBD

ENERGY CALC.
TBD

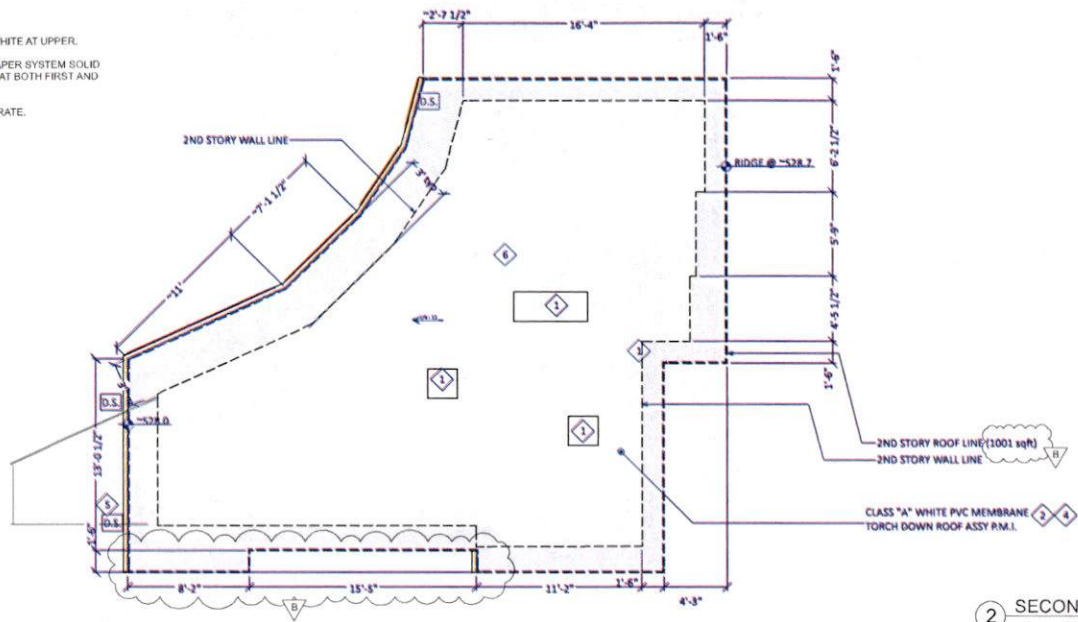
KEY ROOF PLAN NOTES:

- 1 24" X 60" SKYLIGHT
- 2 GRAY 50 MIL. IB SYSTEMS PVC SINGLE PLY CLASS "A" ROOF SYSTEM, GRAY AT LOWER, WHITE AT UPPER.
- 3 60MIL, GRAY IB PVC SINGLE PLY DECK SHIELD ROOF SYSTEM, WITH 1/4" RIGID BOARD TAPER SYSTEM SOLID ADHERED TO THE 1/4" SECUROCK COVER BOARD, AS PER MANUFACTURE'S SPECIFICATIONS AT BOTH FIRST AND SECOND STORY DECKS.
- 4 1/4" SECUROCK CLASS "A" ROOF COVER BOARD SYSTEM OVER PLYWOOD DECK SUBSTRATE.
- 5 BONDORIZED 5 1/4" FASCIA GUTTERS WITH 2 1/4" X 1 3/4" RECTANGLE DOWNSPOUTS.
- 6 PV SOLAR PANELS WITH 36" CLEAR WALKWAY ALL AROUND

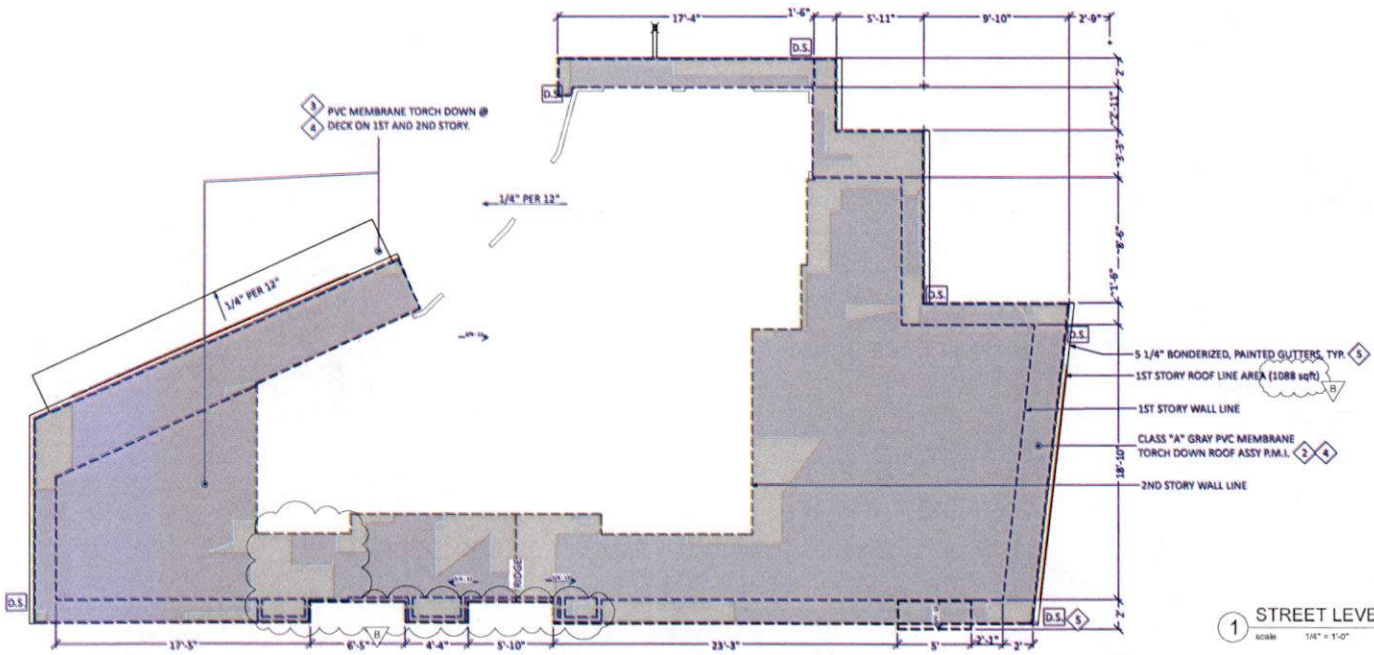
CLASS "A" PVC MEMBRANE TORCH DOWN ROOF ASSY P.M.I.



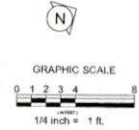
3 ADU ENTRANCE ROOF PLAN
scale 1/4" = 1'-0"



2 SECOND FLOOR ROOF PLAN
scale 1/4" = 1'-0"



1 STREET LEVEL ROOF PLAN
scale 1/4" = 1'-0"



DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
850 766-2463

STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

REVISION	DATE	BY	CHKD
1	11/20/22	R.S.B.	POST 01/22/23 CDR/C
2	11/20/23	R.S.B.	POST 01/23/23 CDR/C

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

ROOF PLANS

SCALE: AS SHOWN
ISSUE: 12.14.2023
DATE:
DRAWN BY:
ROD LACASIA-BARRIOS
SHEET NO.:
A104

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NOTES:
 1. MAIN GARAGE DARK VINYL WINDOWS, CLEAR VIEW SERIES, TYP
 2. LOW-E, ARGON FILL

NO.	DESCRIPTION	TYPE	SIZE	GLASS	OPERATION	FINISH	MARKING	INSTALLATION	DATE
1	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
2	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
3	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
4	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
5	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
6	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
7	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
8	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
9	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
10	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1

1 ADU WINDOW SCHEDULE

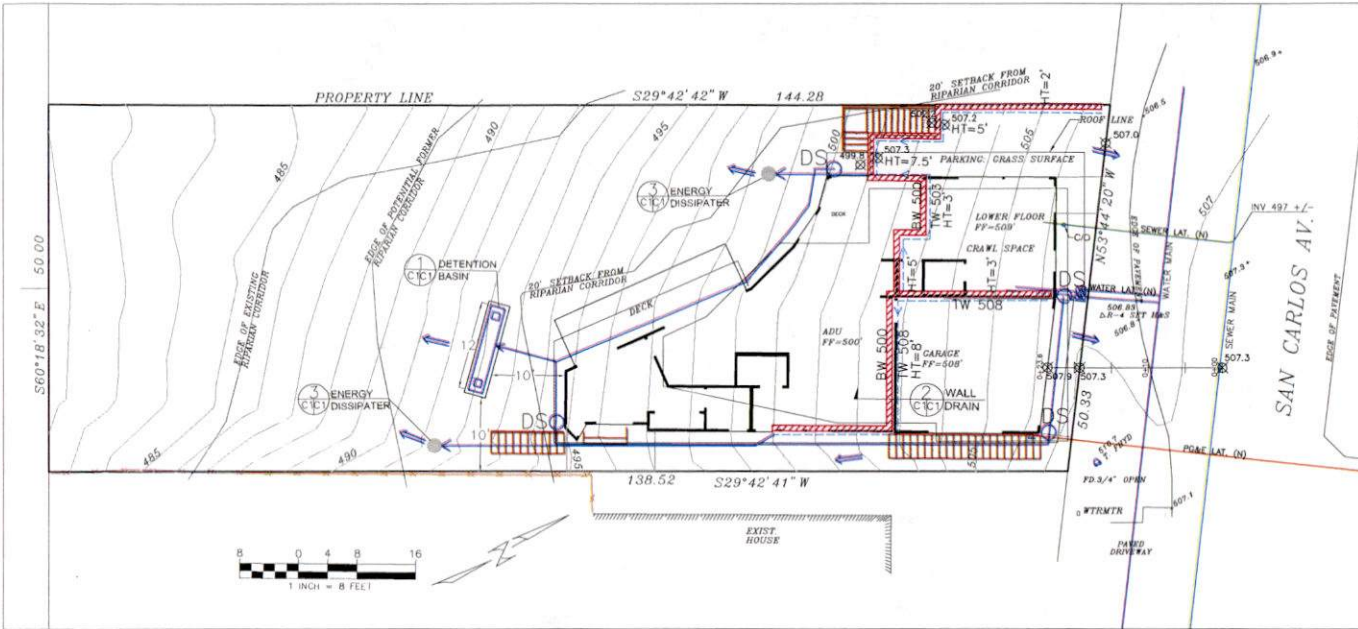
NO.	DESCRIPTION	TYPE	SIZE	GLASS	OPERATION	FINISH	MARKING	INSTALLATION	DATE
1	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
2	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
3	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
4	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
5	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
6	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
7	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
8	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
9	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
10	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1

2 FIRST FLOOR WINDOW SCHEDULE

NO.	DESCRIPTION	TYPE	SIZE	GLASS	OPERATION	FINISH	MARKING	INSTALLATION	DATE
1	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
2	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
3	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
4	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
5	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
6	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
7	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
8	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
9	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1
10	1.00x1.00	1	1.00x1.00	1	1	1	1	1	1

3 SECOND FLOOR WINDOW SCHEDULE

SCALE: AS SHOWN	SHEET TITLE	DESIGNER	REVISION
ISSUE DATE: 12-14-2021	WINDOW SCHEDULES	ROD LACASIA-BARRIOS	DATE BY DESC
DRAWN BY: ROD LACASIA-BARRIOS		485 BRUNO DR	11/2022 RLB POST #11/22 RRRC
SHEET NO. A105	779 SAN CARLOS AVE EL GRANADA, CALIFORNIA NEW RESIDENCE	860 766-2453	
	ALL INFORMATION IS COPYRIGHTED 2021	STRUCTURAL ENGINEER	

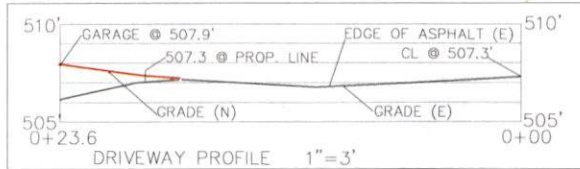


LEGEND

- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION 507.0
- ENERGY DISSIPATER - PER DETAIL 3
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- 4" MIN PERFORATED DRAIN PIPE

SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION
 REFERENCE SHEET NO. OF WHICH SECTION OR DETAIL IS SHOWN
 REFERENCE SHEET NO. ON WHICH SECTION OR DETAIL IS SHOWN



GENERAL NOTES

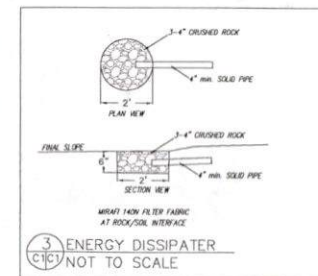
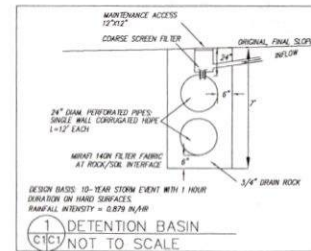
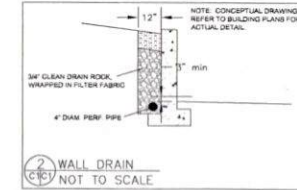
1. PLANS PREPARED AT THE REQUEST OF: ROO LACASIA, OWNER
2. TOPOGRAPHY BY M. TURNROSE, UNDATED
3. THIS IS NOT A BOUNDARY SURVEY
4. ELEVATION DATUM ASSUMED
5. GEOTECHNICAL REPORT, PENDING
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE: SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (850-336-8465 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME: 60 CY
 FILL VOLUME: 40 CY
 TOTAL: 100 CY
- VOLUMES ABOVE ARE APPROXIMATE
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



DATE: 12-3-20
 DRAWN BY: DMK
 CHECKED BY: ADZ
 REV. DATE: _____
 REV. DATE: _____
 REV. DATE: _____

Sigma Prime Geotechnics, Inc.
 SIGMA PRIME GEOTECHNICS, INC.
 14141 MADRID BAY, CA 94019
 (850) 728-3580
 FAX: 728-3585

GRADING AND DRAINAGE PLAN
 LACASIA PROPERTY
 779 SAN CARLOS AVE.
 EL GRANADA
 APN 047-105-020

SHEET
 C-1

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

EROSION CONTROL POINT OF CONTACT
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: ROD LACASIA
TITLE/QUALIFICATION: OWNER
PHONE: 850-786-2453
PHONE:
E-MAIL: ROD@MYRECONSTRUCTION.COM

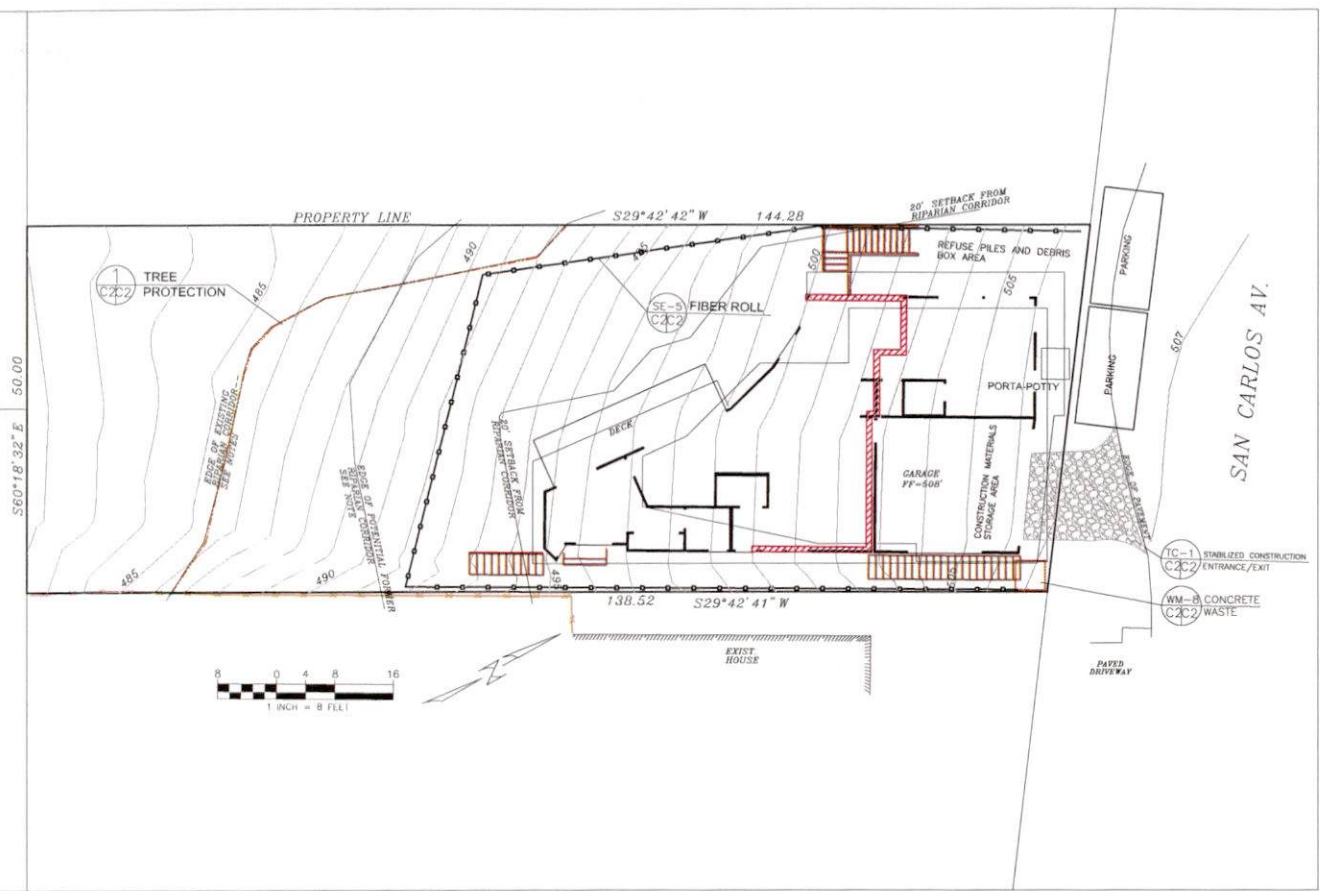


Sigma Prime Construction, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
EL GRANADA, FL 32043
(850) 285-5888
FAX: 726-3803

DATE: 12-3-20
DRAWN BY: DMK
CHECKED BY: AGD
REV. DATE:
REV. DATE:
REV. DATE:

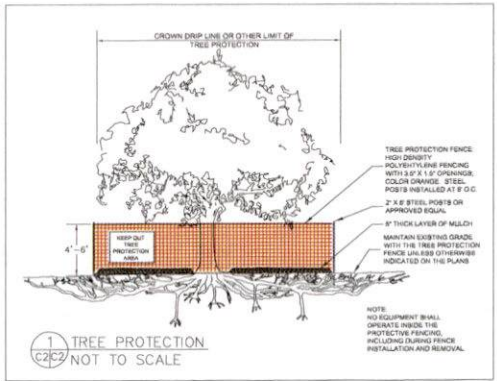
EROSION AND SEDIMENT CONTROL PLAN
LACASIA PROPERTY
779 SAN CARLOS AVE.
EL GRANADA
APN 047-105-020

SHEET
C-2

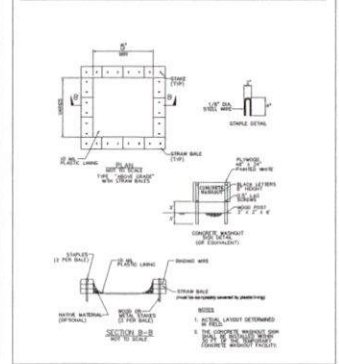


TREE PROTECTION NOTES

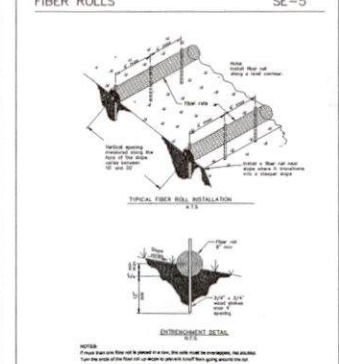
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



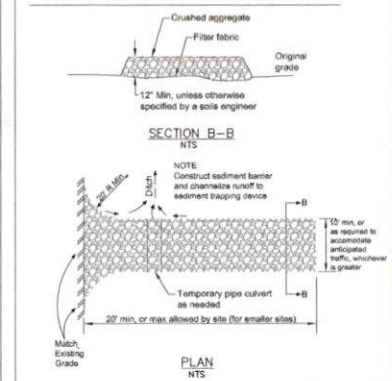
CONCRETE WASTE MANAGEMENT WM-B



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1





COAST RIDGE ECOLOGY^{LLC}

BIOLOGICAL SURVEYS • MONITORING • PERMITTING • RESEARCH

August 13, 2020

Rod Lacasia
4 El Sereno Drive
San Carlos, CA 94070

Subject: *Assessment of Riparian Boundary on the Lacasia Property (APN 047-105-020) in El Granada, California.*

Dear Mr. Lacasia:

This letter is in response to a request for information from County Planner Camille Leung regarding your property (APN 047-105-020) on San Carlos Avenue, in the unincorporated El Granada area of San Mateo County (County File No. PLN 2004-00398).

I mapped the riparian vegetation (associated with the Montecito riparian corridor) boundary line on the property (by hand) using tape flagging by ascertaining where the riparian corridor met the 'greater than 50% cover' requirement as stated in section 7.11 of the San Mateo County LCP¹. The arroyo willow is the dominant riparian vegetation along this corridor, and this vegetation was used to determine the corridor boundary. Based on the riparian corridor boundary delineation that I did, both the 30-foot and 50-foot riparian buffers were calculated and these are shown along with the riparian corridor boundary on the Boundary and Topographic Map prepared by Turnrose Engineering in May 2020.

The unnamed creek that runs through the Montecito riparian corridor is located over 150 feet west of the Lacasia property. The creek is shown as a perennial creek (solid blue line) on the 1997 USGS Montara Mountain 7.5 minute quadrangle map. The creek is shown as an intermittent stream on the 1949 version of this same map. The USGS defines a perennial stream as "a stream that normally has water in its channel at all times."² On August 10, 2020, there was no standing water or flow in the channel, with some saturated mud in places. The creek has an approximate channel width of 5 feet and is incised approximately 5 feet (channel banks). Based on this recent site visit and previous visits to the property where I have not seen water in the creek, it seems the creek is functioning more like an intermittent creek.

The project as designed will be located within an upland on the northeast side of the lot to maintain the maximum distance possible from the riparian corridor, and within the only potentially developable space due to the constrictions from the riparian corridor. The single-family home would be located on the uphill portion of the lot, within 4 inches of the easterly property line, essentially a zero set back condition at the front of the property at San Carlos Avenue. Vegetation within the development footprint is all upland plant species, with the dominant species being French broom (*Genista monspessulana*) and Pampas (jubata) grass

¹ County of San Mateo Local Coastal Program Policies.

https://planning.smcgov.org/sites/planning.smcgov.org/files/documents/files/SMC_Midcoast_LCP_2013.pdf

²https://water.usgs.gov/waterbasics_glossary.html#:~:text=Perennial%20stream%20%2D%20A%20stream%20that,other%20surfaces%20on%20lake%20bottoms.

(*Cortaderia jubata*), both highly invasive non-native plant species. The plans show that the home would be built mostly outside of the 30-foot riparian corridor buffer area, with the exception of the southwest corner of the house which would come within 21 feet (Plans dated 7/15/2020 for New Residence).

Based on the current design and location of the home, I believe any potential impact from the proposed home construction to the Montecito Riparian Corridor has been minimized to the fullest extent in compliance with LCP sections 7.7, 7.11 and 7.12 (cited below).

If you have any questions or concerns, please don't hesitate to contact me.

Sincerely,



Patrick Kobernus
Principal Biologist

References:

Plans for 779 SAN CARLOS AVE, EL GRANADA, CALIFORNIA, NEW RESIDENCE. Plans drawn by Rod Lacasio-Barrios. 07/15/2020.

Applicable Sections/ Definitions from the San Mateo County LCP:

7.7 Definition of riparian corridors

Define riparian corridors by the "limit of riparian vegetation" (i.e., a line determined by the association of plant and animal species normally found near streams, lakes and other bodies of freshwater: red alder, jaumea, pickleweed, big leaf maple, narrow-leaf cattail, arroyo willow, broadleaf cattail, horsetail, creek dogwood, black cottonwood, and box elder). Such a corridor must contain at least a 50% cover of some combination of the plants listed.

7.11 Establishment of buffer zones

- a. On both sides of riparian corridors, from the "limit of riparian vegetation" extend buffer zones 50 feet outward for perennial streams and 30 feet outward for intermittent streams.
- b. Where no riparian vegetation exists along both sides of riparian corridors, extend buffer zones 50 feet from the predictable high water point for perennial streams and 30 feet from the midpoint of intermittent streams.

7.12 Permitted uses in buffer zones

Within buffer zones, permit only the following uses: (1) uses permitted in riparian corridors; (2) residential uses on existing legal building sites, set back 20 feet from the limit of riparian vegetation, only if no feasible alternative exists, and only if no other building site on the parcel exists; (3) on parcels designated on the LCP Land Use Plan Map: Agriculture, Open Space, or Timber Production, residential structures or impervious surfaces only if no feasible alternative exists; (4) crop growing and grazing consistent with Policy 7.9; (5) timbering in "streamside corridors" as defined and controlled by State and County regulations for timber harvesting; and (6) no new residential parcels shall be created whose only building site is in the buffer area.



COAST RIDGE ECOLOGY^{LLC}

BIOLOGICAL SURVEYS • MONITORING • PERMITTING • RESEARCH

September 1, 2022

Camille Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063

Subject: *Clarification on the Status of Arroyo Willow, Concave Topography and Hydric Soils Within Riparian Corridors and Wetlands*

Dear Ms. Leung:

This letter is in response to a request for clarification on the status of Arroyo Willow (*Salix lasiolepis*), concave topography, and hydric soils in regards to the property at 779 San Carlos Avenue (APN 047-105-020) in the unincorporated El Granada area of San Mateo County. I have conducted assessments and mapping of Riparian Corridors and Wetlands within San Mateo County since 1995, in accordance with the US Army Corps of Engineers 1987 Manual for conducting Wetland Delineations¹, and with the standards in the San Mateo County Mid-Coast Local Coastal Program (LCP)².

Ms. Roberts, on behalf of Green Foothills, states in her email (to Camille Leung, County Planner on August 8, 2022):

"Due to the presence of Arroyo Willow in the lower area of the subject property [(APN 047-105-020)], the area described as "Riparian" by Coast [Ridge] Ecology is also a wetland, per CCC determination for Dispute Resolution 2-9-1994-EDD (Ralston, single family residence on a 20,000 sq. ft. parcel at the end of Hermosa Avenue, unincorporated Miramar, San Mateo County)".

This is not an accurate statement in regard to the biology of Arroyo Willow, nor is it accurate in regard to policies 7.7 and 7.14 in the San Mateo County LCP (2013). Arroyo willow **is** listed as a riparian corridor species under the Section 7.7 Definition of Riparian Corridors but **is not** listed as a wetland species under section 7.14 Definition of Wetland in the LCP. See text cited below from the San Mateo County Mid-Coast LCP.

The LCP states the following for Definition of Riparian Corridors and Definition of Wetlands:

RIPARIAN CORRIDORS

7.7 Definition of Riparian Corridors

*Define riparian corridors by the "limit of riparian vegetation" (i.e., a line determined by the association of plant and animal species normally found near streams, lakes and other bodies of freshwater: red alder, jaumea, pickleweed, big leaf maple, narrow-leaf cattail, **arroyo willow**, broadleaf cattail, horsetail,*

¹ <https://www.lrh.usace.army.mil/Portals/38/docs/USACE%2087%20Wetland%20Delineation%20Manual.pdf>

² <https://www.smcgov.org/media/73646/download?attachment>

creek dogwood, black cottonwood, and box elder). Such a corridor must contain at least a 50% cover of some combination of the plants listed.

WETLANDS

7.14 Definition of Wetland

Define wetland as an area where the water table is at, near, or above the land surface long enough to bring about the formation of hydric soils or to support the growth of plants which normally are found to grow in water or wet ground. Such wetlands can include mudflats (barren of vegetation), marshes, and swamps. Such wetlands can be either fresh or saltwater, along streams (riparian), in tidally influenced areas (near the ocean and usually below extreme high water of spring tides), marginal to lakes, ponds, and man-made impoundments. Wetlands do not include areas which in normal rainfall years are permanently submerged (streams, lakes, ponds and impoundments), nor marine or estuarine areas below extreme low water of spring tides, nor vernal wet areas where the soils are not hydric.

In San Mateo County, wetlands typically contain the following plants: cordgrass, pickleweed, jaumea, frankenia, marsh mint, tule, bullrush, narrow-leaf cattail, broadleaf cattail, pacific silverweed, salt rush, and bog rush. To qualify, a wetland must contain at least a 50% cover of some combination of these plants, unless it is a mudflat.

A riparian corridor is essentially a streamside forest dominated by woody vegetation, and the multiple tree species listed under section 7.7 (Definition of Riparian Corridors) illustrates this (i.e., red alder, big leaf maple, arroyo willow, creek dogwood, black cottonwood, and box elder). Alternatively, no tree species (or other woody vegetation) are listed under section 7.14 (Definition of Wetlands).

The Montecito Riparian Corridor, which is located to the north of the Lacasia property (APN-105-020), is a forested riparian feature associated with an intermittent creek. There is a defined creek channel within the approximate center of the corridor that has an approximate channel width of 5 feet and is incised approximately 5 feet (channel bank height), (CRE, 2020). The Montecito Riparian Corridor is densely forested with mature arroyo willow forest vegetation (over 50% cover) throughout most of its length and width. The surrounding topography consists of uplands that slope down to the creek, including the adjacent uplands where Mr. Lacasia's property is located at 779 San Carlos Avenue. This is evident from previous field surveys by Coast Range Biological in 2004, by Coast Ridge Ecology in 2013 and 2020 (attached), and from Google Earth imagery.

Arroyo willow is a tree/shrub that is more often growing in riparian areas that are not wetlands, but it has plasticity to tolerate saturated conditions, and is sometimes found growing on the edge of wetlands and partially within wetlands. This is also true for other riparian trees such as red alder, coast dogwood, and black cottonwood, among others. Arroyo willow is often found in wide swaths (thickets) because it can tolerate drier conditions where the water table is lower and there is no soil saturation, such as riparian corridors and uplands, and this is essentially consistent with what defines a 'riparian' species. Alternatively, all of the plants listed as examples for the 50% cover requirement in Policy 7.14 Definition of Wetlands are species that occur in freshwater marsh and saltmarsh habitats, and primarily grow in saturated soil conditions (e.g., cordgrass, pickleweed, jaumea, frankenia, marsh mint, tule, bullrush, narrow-

leaf cattail, broadleaf cattail, pacific silverweed, salt rush, and bog rush), which suggests that areas that would fall under the category of wetlands would have wetland hydrology, hydric soils, and/or OBL (obligate) wetland plant species.

If Arroyo Willow is determined to be a wetland species, then other trees/shrubs listed as riparian under section 7.7 would also qualify as wetland, because they also can tolerate saturated soils as well as riparian and upland areas (i.e., red alder, box elder, creek dogwood). If Arroyo Willow is determined to be a 'wetland', then the Definition of Riparian in policy 7.7 would no longer apply, as many - if not all - riparian plants and areas previously defined as riparian would now meet the definition of wetland and be lumped under policy 7.14 as Wetlands. This would not make sense either biologically nor from a regulatory perspective and would constitute a major policy shift that would create unnecessary confusion in designating what constitutes a Wetland versus a Riparian Corridor in the Coastal Zone.

The policies as stated in the San Mateo County LCP, provide a defensible definition that allows wetland scientists to differentiate between riparian corridors, wetlands, and uplands for informing land use decisions. Changing the status of a riparian corridor species (Arroyo Willow) under section 7.7, to a wetland species under section 7.14 is not supported by the science or by the policies as stated in the San Mateo County LCP.

In the letter dated June 13, 2021, from Lennie Roberts with Green Foothills to Lisa Grote (County Zoning Officer, Ms. Roberts states:

"Due to the Arroyo willow, spreading rush and slough sedge, any future development of this parcel must comply with the LCP-required wetland 100-foot buffer zone; this setback may be reduced to no less than 50 feet only where no alternative site or design is possible, and adequacy of the alternative setback to protect wetland resources is conclusively demonstrated to the satisfaction of the County and CA Fish and Wildlife, per LCP Policy 7.18."

There is some overlap in plant species composition between wetlands and riparian areas, which is why some of the plants listed under section 7.7 Definition of Riparian Corridors are also listed under section 7.14 Definition of Wetlands (e.g., jaumea and narrowleaf cattail). What is more important in determining a Wetland versus a Riparian Corridor is the dominant vegetation (over 50% cover), and the hydrology of the feature. Calling out the presence of one individual plant as evidence of a site being a 'wetland' or a 'riparian' area' is not logical or consistent with the definition of Riparian Corridors and Wetlands in sections 7.7 and 7.14.

Hydric Soils and Topography

The definition of a hydric soil is: "a soil that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part" (USDA Soil Conservation Service, 1994).

Because of the slope of the property at 779 San Carlos Avenue, it's highly unlikely for hydric soils to be present because water has to pool or pond (continuous saturation, flooding or inundation) for a minimum of 14 days (for most soils) for hydric soil indicators to develop. Saturated streambeds and lakebeds may have hydric soils, but these features are not considered as wetlands, as streams and lakes (up to the water's edge/ Ordinary High Water Line) are considered Waters of the State and/or Waters of the US, depending on whether they

drain into a navigable waterway³. The streambed associated with the Montecito Riparian Corridor has a defined channel, and this channel would likely be considered Waters of the State and Waters of the US. This channel is over 150 feet from Mr. Lacasia's property boundary (CRE, 2020).

I conducted a site visit to Mr. Lacasia's property on August 31st, 2022. The property includes an upland area on the east side (Photo 1), and a portion of the Montecito Riparian Corridor on the western side. The eastern portion of the property is dominated by upland vegetation (i.e., coyote brush, poison oak, pampas grass, iceplant and French broom). To the west of the property near the lower, western property line boundary, the topography flattens out with more hummocky ground, and the vegetation on site is still consistent with section 7.7 definition of a Riparian Corridor (Photo 2). No standing water was observed in this area. This area has over 50% cover Arroyo Willow, and understory plant species identified in this area during the field visit are listed below. No obligate wetland plant species were observed, including slough sedge (*Carex obtusa*). In addition, spreading rush (*Juncus patens*) a facultative species, was not observed.

California blackberry (*Rubus ursinus*), co-dominant
twinberry (*Lonicera involucrata*), co-dominant
poison oak (*Toxicodendron diversilobum*)
thimbleberry (*Rubus parviflora*)
creek dogwood (*Cornus sericea*)
pink-flowering current (*Ribes sanguineum var. glutinosum*)
horsetail (*Equisetum sp.*)

Also, within the western area of the property, is a large, active San Francisco dusky-footed woodrat (*Neotoma fuscipes annectens*) midden (i.e., nest structure), (Photo 3). This species is a California species of special concern. SF dusky-footed woodrat middens are frequently found in uplands and riparian areas but are not present in wetland areas where the nests would be seasonally flooded. This nest is well protected from any potential impact from development, as the nest is within the riparian corridor that would be protected, and more than 60 feet from the project area.

It should be noted that most riparian areas will have at least some overlap with wetland habitats in species composition, as riparian areas can have flat topography, and even have some concave topography within them, just as wetland areas may have some component of riparian vegetation and convex topography along edges and within the interior in the form of small islands. To parse out small areas of a few square feet in size within the overall habitat feature would create regulatory confusion, as several buffer zones and setbacks would then be applied to a single habitat feature. The definition of what constitutes Riparian Corridor versus Wetland as described in the San Mateo County LCP Sections 7.7 and 7.14, should be adhered to as written, to maintain consistency in how these features are regulated for all landowners within the Local Coastal Program Area.

³ U.S. Army Corps of Engineers, July 2012. Informational Brochure "What are the Limits of the Corps Jurisdiction", New England District 696 Virginia Road, Concord, MA 01742-2751 website www.nae.usace.army.mil
https://www.nae.usace.army.mil/Portals/74/docs/regulatory/JurisdictionalLimits/Jurisdictional_Limits_Brochure.pdf

It is my professional opinion that the riparian corridor on Mr. Lacasia's property, and within adjacent areas, meets the definition of Riparian Corridor, under section 7.7 Definition of Riparian Corridors.

If you have any questions or concerns, please don't hesitate to contact me.

Sincerely,



Patrick Kobernus
Principal Biologist

References

CRE 2020. Letter from CRE to Rod Lacasia, *Assessment of Riparian Boundary on the Lacasia Property (APN 047-105-020) in El Granada, California*. August 13, 2020.

USDA Natural Resources Conservation Service 1994. Definition of Hydric Soils.

https://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/use/hydric/?cid=nrcs142p2_053961

Green Foothills, Letter dated June 13, 2021, To: Lisa Grote, Zoning Hearing Officer; From: Lennie Roberts, Green Foothills. Re: June 17, 2021, Zoning Hearing Officer Agenda, Item #2: PLN2020-00448 Coastal Development Permit and Certificate of Compliance (Type B) to legalize a 7,070 sq. ft. parcel at 779 San Carlos Avenue, El Granada; Owner/Applicant: Rodrigo Lacasia Barrios.



Photo 1. Eastern portion of property, near San Carlos Avenue. Photo date: August 31, 2022. Coyote brush, iceplant and pampas grass shown in photo.



Photo 2. Understory vegetation near western property boundary (fence in background is neighbor's property to the west). Photo date: August 31, 2022.



Photo 3. Area near western property boundary. Large, active SFDF woodrat midden in center of photo. Photo date: August 31, 2022.



September 15, 2022

Steven Monowitz, Camille Leung, and Glen Jia
San Mateo County Planning
455 County Center, 2nd Floor
Redwood City, CA 94063

Re: PLN2021-00478 Owner-Applicant: Rodrigo Lacasia-Barrios, Location: San Carlos Avenue, El Granada; APN: 047-105-020. Proposed construction of a new 2,226 sq. ft. three-story, single-family residence with attached 795 sq. ft. ADU and 374 sq. ft. garage on a 7,070 sq. ft. parcel associated with a staff level Coastal Development Permit (CDP) and Variance.

Dear Steve, Camille, and Glen,

On behalf of Green Foothills, I have reviewed the September 1, 2022 letter from Coast Ridge Ecology and disagree with Mr. Kobernus's conclusions that the Arroyo Willow forest that covers approximately 25% of the subject property is not a wetland as well as a riparian area.

County LCP Policy 7.14 Definition of Wetlands broadly defines wetlands as "an area where the water table is at, near, or above the land surface long enough to bring about the formation of hydric soils or to support the growth of plants which normally are found to grow in water or wet ground." Policy 7.14 also includes a list of 12 plants that are **typically** found in wetlands in San Mateo County and states that to qualify, a wetland must contain at least 50% cover of these plants. This LCP policy only includes some of the wetlands associated plants in San Mateo County coastal zone that could indicate the presence of a wetland, and as such, is illustrative of typical wetland species and is not exclusive of all others.

For further analysis and support of the broader and more inclusive determination of arroyo willow (*salix lasiolepis*) indicating presence of a wetland in coastal San Mateo County, please refer to the California Coastal Commission's unanimous decision re: Dispute Resolution Number 2-19-1004-EDD (Ralston Single-Family Residence), November 13, 2019. The Commission's decision was based in part on the Coastal Commission's Ecologist, Dr. Lauren Garske-Garcia's analysis and conclusion that the biological resources (specifically mature arroyo willow thickets) on the Ralston property qualify as both an intermittent stream and a wetland.

I also call your attention to the Review of the August 9, 2019 Biological Assessment for the Hermosa Avenue Property prepared for Green Foothills by Gary Deghi, Vice President/Senior Environmental Scientist, Huffman-Broadway Group, Inc. Mr. Deghi's review and analysis included the following conclusion: "The indicator status of arroyo willow in the most recent National Wetland Plant List: 2016 wetland ratings (Lichvar et al 2016) is shown as a facultative wet (FACW) plant (plants that usually occur in wetlands; estimated probability 67-99%, but occasionally found in non-wetlands). The presence of



dominant FACW vegetation would be sufficient to define the willow thicket as a coastal wetland under the CCA definition of a wetland.”

While the particular issue with the Ralston Dispute Resolution matter was whether the parcel was within an area that was Categorically Excluded from the requirement for a Coastal Development Permit, in this case, county planning staff acknowledges that a Coastal Development Permit (CDP) is required for the proposed development of a 2,226 sq. ft. single family residence, attached 795 sq. ft. ADU and 374 sq. ft. garage on a 7,070 sq. ft. parcel. However, county planning staff has determined that only a staff-level CDP approval is required, and the CDP is not appealable to the Coastal Commission. Green Foothills also disputes these determinations.

If you disagree with Green Foothills contention that the willow thicket on the Lacasia property qualifies as a wetland as well as a riparian area, please follow the Dispute Resolution process as specified in Section 13569 of the Coastal Commission’s Regulations (California Code of Regulations (CCR), Title 14) and refer this matter to the California Coastal Commission’s Executive Director for a resolution of this matter.

Thank you for your attention to our comments.

Sincerely,

A handwritten signature in black ink that reads "Lennie Roberts".

Lennie Roberts, Legislative Advocate, Green Foothills

Cc: Dan Carl, District Director, California Coastal Commission
Stephanie Rexing, District Manager, California Coastal Commission
Erik Martinez, Coastal Planner, California Coastal Commission
Rich and Kathy Klein
Susana van Bezooijen
Mike Ferreira, Coastal Issues Committee, Sierra Club, Loma Prieta Chapter



Date: August 7, 2022
To: Glen Jia, Project Planner and
Camille Leung, Senior Planner
From: Lennie Roberts, Legislative Advocate, Green Foothills
Re: Item # 4 on the August 11, 2022 Coastside Design Review Committee meeting: "Consideration of a Design Review recommendation for the construction of a new 2,226 sq. ft. three-story, single-family residence with attached 795 sq. ft. ADU and 374 sq. ft. garage on a 7,070 sq. ft. parcel associated with a staff level Coastal Development Permit (CDP) and Variance. Staff will make a decision on the IS-MND, CDP, and Variance after August 11, 2022. The project is not appealable to the California Coastal Commission. Owner-Applicant: Rodrigo Lacasia-Barrios, File #PLN2021-00478, Location: San Carlos Avenue, El Granada, APN: 047-105-020"

Dear Glen and Camille,

Green Foothills objects to the CDRC Agenda listing of the proposed single-family residence, ADU and garage, specifically the following: "Staff will make a decision on the Initial Study-Negative Declaration, CDP, and Variance after August 11, 2022," and "The project is not appealable to the California Coastal Commission."

First, No Notice of the IS-MND was sent to Green Foothills, and I have not been able to find the referenced IS-ND on County Planning's website. Staff should be well aware of our concerns about this project, as we commented extensively on the parcel legalization and spoke at the ZHO public hearing. We should have been notified of the availability of the IS-MD. Please send me the Draft IS-ND and please extend or re-open the comment period.

Second, due to the presence of riparian vegetation/wetlands on the parcel, a staff-level decision for the CDP and Variance appears to be inappropriate. Could you please advise as to the basis for a staff level decision?

Finally, Green Foothills strongly disagrees with the statement that the CDP is not appealable to the Coastal Commission. The subject parcel supports a dense Arroyo Willow riparian woodland that covers approximately 25%-30% of the property, as depicted on the 11/17/2020 Boundary and Topographic Map by Turnrose Land Surveying which was part of the COC-B approval process. The Arroyo Willow riparian woodland is described by Tom Mahoney of Albion Environmental in his October 15, 2004 Report on the subject parcel as: "Riparian woodland, composed of the Arroyo Willow series (Sawyer and Keeler-Wolf 1995) occurs along the western half of the Project Area. The riparian area is structurally mature, and forms an intact canopy extending from the Project Area down to the unnamed drainage channel to the west...". Mr. Mahoney also describes the understory vegetation: "...including spreading rush (*Juncus patens*), a facultative wetland species 4 and slough sedge (*Carex obnupta*), an obligate wetland indicator species."



Development within 100 feet of a wetland is appealable to the California Coastal Commission, per County Zoning Regulations Section 6328.3(s)(2) which states (in relevant part): “Projects Appealable to the Coastal Commission...Projects located within 100 feet of any wetland”. The proposed project has the potential for significant adverse impacts to coastal resources, and the CDP must maximize protection of those resources, through adequate setbacks of development, and other measures to prevent changes to existing patterns of surface and subsurface drainage, and/or removal of environmentally sensitive habitat species, etc.

Please correct the project description on the CDRC August 11, 2022 Agenda accordingly.

If you disagree regarding the issue of appealability of the CDP, please follow the Dispute Resolution process as specified in Section 13569 of the Coastal Commission’s Regulations (California Code of Regulations (CCR), Title 14) and refer this matter to the California Coastal Commission’s Executive Director for a resolution of the disagreement.

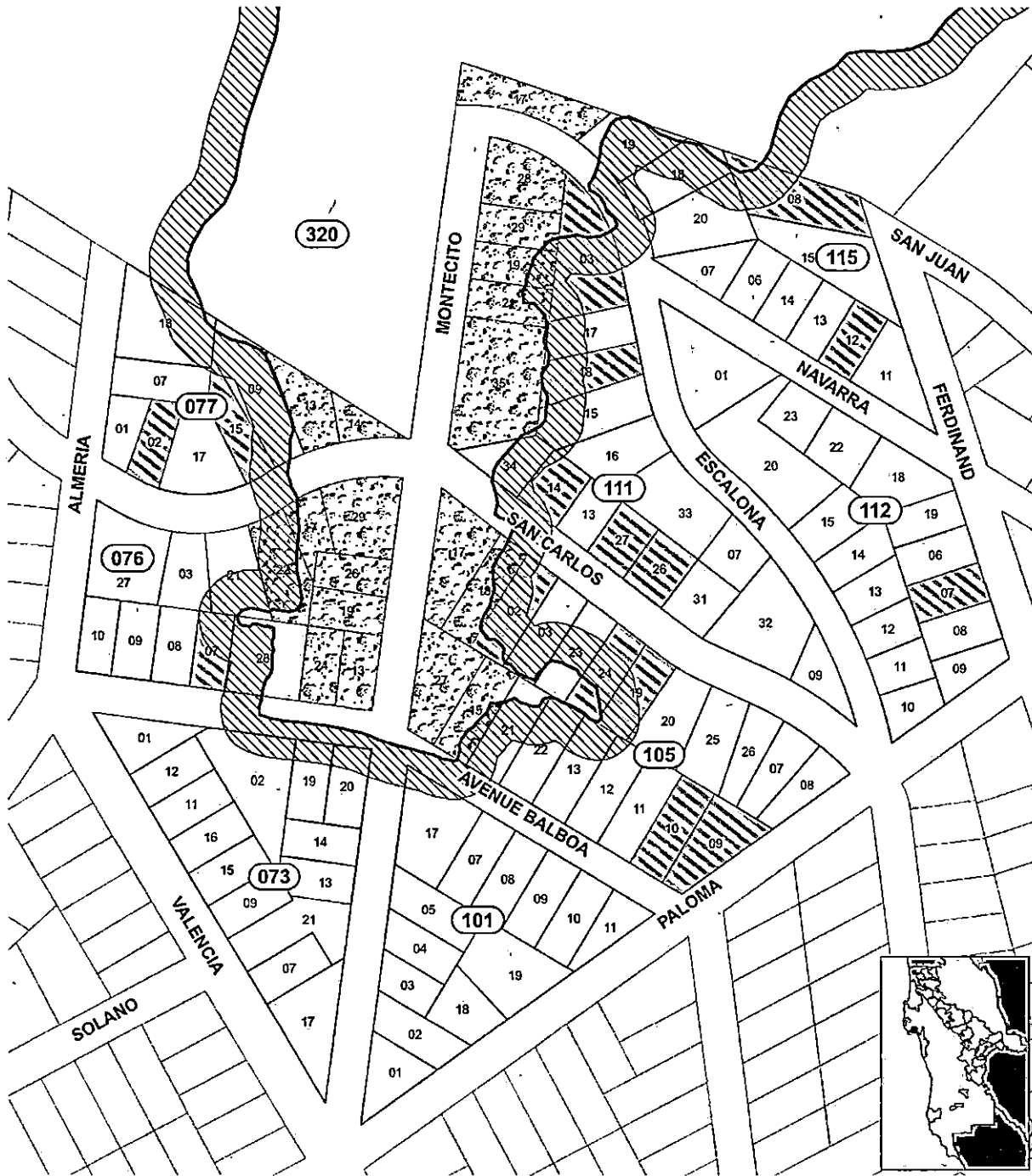
Thank you for your attention to our comments.







CC: Erik Martinez, California Coastal Commission
Rich and Kathy Klein
Susana van Bezooijen



MONTECITO RIPARIAN CORRIDOR

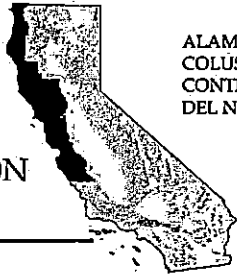
EL GRANADA AREA (APN PREFIX: 047)



- | | | | |
|---|--------------------------------------|---|-----------------------------|
|  | Montecito Riparian Corridor Boundary |  | Montecito Riparian Corridor |
|  | Perennial Riparian Buffer (50 FT) |  | Vacant Parcel |
|  | Developed Parcel |  | County Parcels |

Note: This map illustrates the approximate boundary of the Montecito Riparian Corridor based on aerial photographs taken in 2006. The County of San Mateo Local Coastal Program categorizes riparian corridors as environmentally sensitive habitat areas, and strictly regulates development within and adjacent to such areas. Site specific boundary surveys, riparian buffer delineations and biological studies, as well as other information will be required to determine what if any development may be permissible on parcels within these areas.

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SANTA CRUZ
SOLANO
SONOMA
YOLO

Northwest Information Center
Sonoma State University
1400 Valley House Drive, Suite 210
Rohnert Park, California 94928-3609
Tel: 707.588.8455
nwic@sonoma.edu
<https://nwic.sonoma.edu>

January 25, 2023

File No.: 22-1094

Glen Jia, Project Planner
San Mateo County Planning and Building Division
455 County Center
Redwood City, CA 94063

re: PLN2021-00478 / APN 047-105-020 at 779 San Carlos Ave, El Granada / Lacasia-Barrios Rodrigo

Dear Glen Jia,

Records at this office were reviewed to determine if this project could adversely affect cultural resources. **Please note that use of the term cultural resources includes both archaeological sites and historical buildings and/or structures. The review for possible historic-era building/structures, however, was limited to references currently in our office and should not be considered comprehensive.**

Project Description:

Coast side Design Review Permit, Hearing-level Coastal Development Permit (CDP), Initial Study/Negative Declaration, and Variance for the construction of a new 1,820 sq. ft. (formerly 1,808 sq. ft.) three-story, single-family residence with an attached 381 sq. ft. garage and 795 sq. ft. Accessory Dwelling Unit (ADU) on a legal 7,070 sq. ft. parcel (Recorded Certificate of Compliance, PLN2020-00448), associated with a hearing level Coastal Development Permit (CDP) and Variance. A Variance is required to allow a reduced front yard setback of 13 feet where 20 feet is the minimum front yard setback in the S-17 zoning district, due to the site location within a portion of the Montecito Riparian Corridor and the associated 30-foot riparian setback. Wetland setbacks are not met and the applicant seeks a reduction in the minimum 100 feet setback. The project includes minor grading and no tree removal. An Initial Study/Negative Declaration (IS/ND) will be prepared by staff and made available for public review. Subsequently, the Planning Commission will make a decision on the IS/ND, DR, CDP, and Variance at a public hearing. This project was scheduled for continued consideration from the August 11, 2022 meeting. The project is appealable to the California Coastal Commission.

Previous Studies:

XX Study # 3082 (Dietz and Jackson 1970), included the proposed project area in their maps. However, the report is unclear as to whether the researchers surveyed the proposed project area (*see recommendation below*).

Archaeological and Native American Resources Recommendations:

 The proposed project area has the possibility of containing unrecorded archaeological site(s). A study is recommended prior to commencement of project activities.

XX We recommend the lead agency contact the local Native American tribe(s) regarding traditional, cultural, and religious heritage values. For a complete listing of tribes in the vicinity of the project, please contact the Native American Heritage Commission at 916/373-3710.

XX While the general region surrounding the proposed project site has a high level of sensitivity for archaeological resources, the project parcel itself is located on a steep slope and has a low possibility of containing unrecorded archaeological site(s). Therefore, no further study for archaeological resources is recommended.

Built Environment Recommendations:

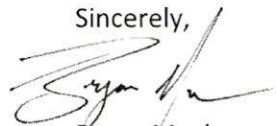
XX Since the Office of Historic Preservation has determined that any building or structure 45 years or older may be of historical value, if the project area contains such properties, it is recommended that prior to commencement of project activities, a qualified professional familiar with the architecture and history of San Mateo County conduct a formal CEQA evaluation.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

For your reference, a list of qualified professionals in California that meet the Secretary of the Interior's Standards can be found at <http://www.chrisinfo.org>. If archaeological resources are encountered during the project, work in the immediate vicinity of the finds should be halted until a qualified archaeologist has evaluated the situation. If you have any questions please give us a call (707) 588-8455.

Sincerely,



Bryan Much
Coordinator

**NATIVE AMERICAN HERITAGE COMMISSION**

February 7, 2023

Glen Jia
San Mateo County Planning and Building DepartmentVia Email to: bjia@smcgov.orgCHAIRPERSON
Laura Miranda
LuiseñoVICE CHAIRPERSON
Reginald Pagaling
ChumashSECRETARY
Sara Dutschke
MiwokCOMMISSIONER
Isaac Bojorquez
Ohlone-CostanoanCOMMISSIONER
Buffy McQuillen
Yokayo Pomo, Yuki,
NomlakiCOMMISSIONER
Wayne Nelson
LuiseñoCOMMISSIONER
Stanley Rodriguez
KumeyaayCOMMISSIONER
[Vacant]COMMISSIONER
[Vacant]EXECUTIVE SECRETARY
**Raymond C.
Hitchcock**
Miwok/Nisenan**NAHC HEADQUARTERS**
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov**Re: Lacasia-Barrios Single-family Residence Project, San Mateo County**

Dear Mr. Jia:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information submitted for the above referenced project. The results were positive. Please contact the Amah Mutsun Tribal Band of Mission San Juan Bautista and The Ohlone Indian Tribe on the attached list for information. Please note that tribes do not always record their sacred sites in the SLF, nor are they required to do so. A SLF search is not a substitute for consultation with tribes that are traditionally and culturally affiliated with a project's geographic area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites, such as the appropriate regional California Historical Research Information System (CHRIS) archaeological Information Center for the presence of recorded archaeological sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. Please contact all of those listed; if they cannot supply information, they may recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify the NAHC. With your assistance, we can assure that our lists contain current information.

If you have any questions or need additional information, please contact me at my email address: Cody.Campagne@nahc.ca.gov.

Sincerely,

Cody Campagne
Cultural Resources Analyst

Attachment

APPENDIX F: EECAP DEVELOPMENT CHECKLIST



To ensure new development projects are compliant with the County's Energy Efficiency Climate Action Plan (EECAP), the following checklist has been developed. This checklist should be filled out for each new project, addition, or remodel that is subject to discretionary review to allow projects to identify consistency with the EECAP. Demonstrating consistency with the EECAP shows project eligibility for CEQA tiering, as provided for by the California Environmental Quality Act (CEQA). Tiering from the environmental analysis prepared for this EECAP may allow projects to streamline project review, with the potential to use the EECAP to determine the project would have less than significant impact on greenhouse gas emissions.

The EECAP provides both mandatory and voluntary greenhouse gas reduction measures with varying applicability for different types of future projects. If a project desires to use the EECAP for CEQA streamlining provisions, the County will be responsible for applying voluntary and/or mandatory measures as mitigation measures, as appropriate. The County will work with applicants on a project-by-project basis to determine the appropriate use of the CEQA benefits of the EECAP, identifying appropriate mandatory and voluntary measures to integrate into project design or mitigation. For developments wishing to benefit from CEQA streamlining provisions, the County may require voluntary measures in this EECAP as mandatory conditions of approval or as mitigation in a mitigated negative declaration or an environmental impact report, as appropriate, on a project-by-project basis. This approach allows the County to ensure that new development can benefit from CEQA streamlining provisions while also ensuring that the County is on target to achieve the reduction targets outlined in this Plan. The checklist does not preclude the County's discretion to determine if substantial evidence indicates that a project complying with EECAP measures may still yield cumulatively considerable impacts on the environment. If the County finds that a project may still yield cumulatively considerable impacts despite compliance with the EECAP, an environmental impact report (EIR) must be prepared for the project.

Note that this checklist excludes supportive and non-quantifiable measures identified in the EECAP, or measures that are not universally applicable to all projects. In addition, the checklist provides the quantitative

criteria as it would be applicable to a single project. This criteria is intended to provide clarity for implementation of the EECAP, in some instances providing additional information that is consistent with the assumptions identified in **Appendix C** of the EECAP. The actions identified in the checklist below show the level of project performance that would demonstrate consistency with the EECAP and support consistency with the findings of the EECAP's CEQA analysis. For projects that may comply with the intent of an EECAP action but not meet all identified performance criteria below, County staff has the flexibility to determine on a case-by-case basis when projects nonetheless demonstrate consistency with the overall intent of the EECAP.

Specifically, the checklist excludes the following:

- Measures that describe County efforts supportive of other measures, that will not be implemented project-by-project, including Measure 3.4 (Expedited Permitting), Measure 5.2 (County Impact Fees), Measure 10.2 (Alternative Fuel Outreach) and Measure 4.8 (Community Choice Aggregation). These measures describe the County's efforts to create an enabling framework for projects, and which projects will implement through the other actions described in the following checklist.
- Measures that are supportive, whose impacts on GHG emissions were not quantified and did not contribute to the environmental determination of the EECAP's EIR. These measures will be implemented through broad public-private partnerships and not on a project-by-project basis, including Measure 2.4 (Green Business Program), Measure 2.5 (Implement AB 1103), and Measure 11.1 (Energy-Efficient Agriculture).
- Large-scale measures that are specific to unique types of large projects, including Measure 4.6 (Commercial Wind Power) and Measure 4.10 (Waste to Energy). These measures describe large-scale projects not eligible for CEQA streamlining, whose impacts will be dependent upon project specifics that could not be anticipated through the EECAP's EIR. These projects cannot benefit from the CEQA streamlining provisions of this EECAP, and will require separate environmental analysis pursuant to CEQA.

EECAP DEVELOPMENT CHECKLIST

Measure	Description & Performance Criteria	Compliance			
		Complies	Does Not Comply	N/A	See Discussion
1.1	Energy Upgrade California			✓	
1.2	Residential Energy Efficiency Financing	✓			
1.3	Low-Income Weatherization			✓	
1.4	Tree Planting			✓	
1.5	Propane Switch			✓	
2.1	Commercial and Industrial Efficiency			✓	
2.2	Commercial Financing			✓	
2.3	Institutional Energy Efficiency			✓	
3.1	Green Building Ordinance	✓			

APPENDIX F: EECAP DEVELOPMENT CHECKLIST

Measure	Description & Performance Criteria	Compliance			
		Complies	Does Not Comply	N/A	See Discussion
3.2	Green Building Incentives	Comply with the Green Building Ordinance and achieve CALGreen Tier 1 energy efficiency standards, regardless of applicability of the Green Building Ordinance.	✓		
3.3	Urban Heat Island	Install shading, "cool" surfaces design, and/or open-grid paving to reduce hardscape through strategies such as interlocking concrete pavement, stones, or blocks.	✓		
3.6	Regional Energy Efficiency Efforts	Procure and install energy-efficient equipment, through programs such as bulk-purchasing, to achieve a minimum of 8% energy savings.			✓
4.1	Solar PV Incentives	Install a solar photovoltaic system, using private resources and/or local or state incentives, including County incentives, and state rebates through the California Solar Initiative.	✓		
4.2	Solar Water Heater Incentives	Install solar water heaters, using private resources and/or local or state incentives, including County incentives and state rebates through the California Solar Initiative.	✓		
4.3	Pre-Wired Solar Homes	Pre-wire and pre-plumb for solar thermal or PV systems.	✓		
4.4	Pilot Solar Program	Install a solar photovoltaic system through a development project program.			✓
4.5	Renewable Financing	Install a solar photovoltaic system or solar water heater using financing programs such as power purchase agreements or Property Assessed Clean Energy.			✓

APPENDIX F: EECAP DEVELOPMENT CHECKLIST

APPENDIX F

Measure	Description & Performance Criteria	Compliance			
		Complies	Does Not Comply	N/A	See Discussion
4.7	Incentivize Wind Energy.			✓	
4.9	Emissions Offset Programs			✓	
5.1	General Plan and Zoning Updates			✓	
5.3	Pedestrian Design			✓	
6.1	Neighborhood Retail			✓	
6.2	Traffic Calming in New Construction			✓	
6.4	Expand Transit			✓	
7.1	Parking Ordinance			✓	
7.3	Unbundled Parking			✓	

Measure	Description & Performance Criteria	Compliance			
		Complies	Does Not Comply	N/A	See Discussion
8.1	Employee Commute			✓	
8.2	Workplace Parking			✓	
8.3	Employer Transit Subsidies			✓	
8.4	Work Shuttles			✓	
10.1	Low Carbon Fuel Infrastructure			✓	
13.1	Use of Recycled Materials	✓			
13.2	Zero Waste	✓			
14.1	Smart Water Meters	✓			
14.2	Water Reuse	✓			
15.1	Construction Idling	✓			
15.2	Electrification in New Homes	✓			

Discussion (please list policy #)

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COASTSIDE FIRE PROTECTION DISTRICT

1191 Main Street, Half Moon Bay, CA 94019 | Website: [HYPERLINK](#)
"http://www.coastsidefire.org" www.coastsidefire.org
Tel: (650) 726-5213 | Fax: (650) 726-0132 | Email: [HYPERLINK](#)
"mailto:cpfdadmin@fire.ca.gov" cpfdadmin@fire.ca.gov

Feb 1, 2022

Rod & Elizabeth Lacasia
4 El Sereno
San Carlos, CA 94070

SUBJECT: Pln2021-00478 779 San Carlos Ave.
SFD/ADU

Your building plans have been **reviewed subject** to the following conditions completed prior to a final inspection by the fire department. It is your responsibility to make contact with the fire department if you do not understand any of the following project conditions.

1. *Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to the exterior of the smoke alarm and will be checked at final.*
2. *Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).*
3. *Residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).*
4. *As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.*
5. *Add Note to Plans: Vegetation Management (LRA) - The 2019 California Fire Code Chapter 49 and Public Resources Code 4291.*

A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

6. *As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.*
7. *Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details..*
8. *Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.*
9. *Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.*
10. *Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.*
11. *Add note to the title page that the building will be protected by an automatic fire sprinkler system.*
12. *Solar Photovoltaic Systems: These systems shall meet the requirements of the 2019 CFC Section 605.11*

All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.

For additional information or to schedule an inspection you may contact the Fire Marshal's email at cfpdfiremarshal@fire.ca.gov

John Riddell
Deputy Fire Marshal
Coastside Fire District
San Mateo County Fire